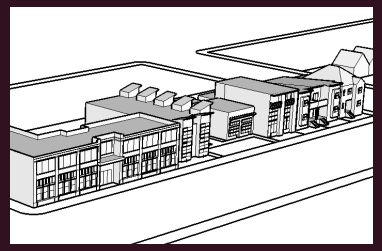
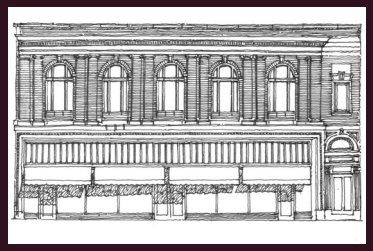
Land Use



Site Development



Architecture

Special Conditions

NORTH PARK STREET DISTRICTS REGULATING CODE

City of Alameda, California

City Design Collective

September 7, 2011

Mr. Andrew Thomas
Planning Services Manager
Department of Planning and Building
City of Alameda

Re: Public Draft of the North Park Street Districts Regulating Code

Dear Andrew,
On behalf of the City Design Collective, I am pleased to present to you the Public Draft of the North Park Street Districts Regulating Code.

In support of the community's desire for new development, this code's land use regulations allow for flexibility to attract and enable a wide range of new investment. To ensure that all new development supports the community's desire for an attractive, walkable, and high-quality built environment, regulations that govern *form* are customized to protect and enhance Alameda's historic qualities and character.

We hope that you find these materials clear and straightforward, and look forward to receiving the community's input. If you have any questions or comments, please do not hesitate to contact me directly.

Best regards,

Ian Ross
Principal

1305 Franklin Street Suite 220 Oakland, CA 94612 + (p) 415-378-2181 + (e) Ian@citydesigncollective.com

NORTH PARK STREET DISTRICTS REGULATING CODE

City of Alameda, California

Public Draft

September 2011

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community vision + urban design

in collaboration with
Vargas Greenan Architecture - Civic Design
and the City of Alameda Community Development

Special thanks are offered to members of the Park Street Business Association and to all members of the Alameda community who participated in the public planning process.

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1. INTRODUCTION

1.1 Orientation
1.2 Applicability
1.3 Plan Area
1.4 Organization of Regulations
1.5 How to Use the Regulating Code

INTRODUCTION

1.1 ORIENTATION

Role of the North Park Street Regulating Code

The City of Alameda has made great strides to plan for growth and change throughout the Park Street Districts. In recent years, the City has restructured planning policies, has analyzed economic conditions, and has invested significantly in capital improvements.

This Regulating Code translates the community's vision for growth into development standards and design guidelines intended to enable and guide future development. In doing so, this code implements citywide policies and strategies established in the City's *General Plan*, *Economic Development Strategic Pla*n, and in the *Citywide Retail Policy*, and enacts more focused recommendations established within the *Downtown Vision Plan*, and the *Gateway Districts Strategic Plan.*

The Code is intended to assist key decision makers and applicants in the following ways:

1. Establish policies and regulations to attract and guide desired new investment.
2. Assess proposed development projects to ensure that land uses, site development, and building design is in support of the community's stated goals.
3. Streamline the design review process for applicants who fulfill the Code's requirements.

Approach

This code employs land use and site development regulations to attract a wide-range of new investment, while ensuring that new development complements the City's rich history of architectural style and character and supports pedestrian activity.

More specifically:

Land Use Regulations

Land use regulations contained herein provide flexibility to property owners and developers by permitting a mix of complementary uses for each parcel. Land use 'categories' are designed to maximize the City's potential for attracting new investment in support of long-term economic health.

Site Development Regulations

Form-based standards and guidelines for site development and building design ensure that new development builds on the best of Alameda's unique character while encouraging innovative design ideas that contribute to the community's vision for attractive and walkable neighborhoods.

Operating Principles

The following operating principles recognize that new investment in the Park Street Districts is likely to occur incrementally, and over a long period of time.

1. The Regulating Code is not static. As the Park Street Districts evolve, so too may the market forces and consumer preferences that affect development feasibility. On-going evaluation of the land use and site development regulations is needed to ensure long-term success.

2. Revitalization is most successful when public and private investment are coordinated and directed towards achieving a common goal. The City is dedicated to district revitalization, and will continue to invest in capital improvements as funding allows to catalyze and support envisioned transformation of the Park Street Districts.

3. City districts are most successful when they are complementary, and do not compete with one another. The land use and site development regulations herein are intended to attract and guide new investment while protecting and enhancing the role of the historic downtown as one of the community's most vibrant and active district.

1.2 APPLICABILITY

Relationship to the General Plan
The City of Alameda adopts this Code as a primary tool to carry out the goals, objectives, and policies of the Alameda General Plan. The regulations herein are consistent with the Alameda General Plan, and any land use or development approved in compliance with this Code will also be consistent with the General Plan.

Relationship to the Municipal Code
The regulations in this Regulating Plan are applicable to all properties in the Plan Area. All applications for new construction, modifications to existing development, or change in land use shall be reviewed for conformance with this Regulating Plan.

The standards of the Alameda Municipal Code which address topics of development and land use regulation not covered by this Code remain applicable to development within the Plan Area.

1. When the content of this Code conflicts with the Alameda Municipal Code, this Code shall govern.
2. Requirements of the Alameda Municipal Code addressing topics not covered by this Code including but not limited to the California and Alameda Building Codes shall apply.

Non Conforming Land Uses and Site Development
Application of the Code's regulations to existing nonconforming land uses and site development shall be per section 30-20 of the Alameda Municipal Code.

Code Exceptions
The Plan Area contains a number of unique conditions related to property configuration, parcel size, ownership, and access. These conditions may create design and construction challenges that require flexibility in the application of the Code's development regulations. It is therefore sometimes in the public interest to make an exception to the Code's regulations.

Deviations from this Code related to architectural design shall require application and design review approval by the Planning Board.

An architectural design exception to any provision within Section 2.7 through 3.6 may be approved only where the Planning Board or City Council upon appeal makes the following findings:
1. The applicant demonstrates that a clearly superior design solution would result if the exception were granted, and the new solution is supportive of the intent of the requirement of the Regulating Code.
2. The proposed exception will not result in conditions that adversely affect public safety.
3. The proposed exception will not detract from the peaceful enjoyment of residents, visitors and/or other properties.

Exceptions from any provision within Section 2.1 through 2.5 may be approved pursuant to Section 21.1 Variances or Section 21.2 Administrative Variance of the Alameda Municipal Code.

Use Permits
Uses requiring use permits by this code shall be reviewed subject to the provisions of Section 30-21 of the Alameda Municipal Code.

Design Review
All improvements shall be subject to Article II Structural Design Review of Section 36 and 37 of the Alameda Municipal Code.

1.3 PLAN AREA

The North Park Street District Regulating Code Area includes all parcels located between Oak Street and Tilden Way north of Lincoln Avenue.

North Park Street Districts Plan Area

1.4 ORGANIZATION OF REGULATIONS

Overview

Sections 2 and 3 of this Plan contain the Plan's regulations. District Zone regulations apply site development standards to each parcel depending upon its location. District-Wide regulations are applicable to all parcels.

Standards

Standards dictate a range of permissible outcomes for each regulation type and may employ values or use words such as "shall" and "shall not". Conformance with standards is mandatory.

Guidelines

Guidelines are discretionary and suggestive, and contains words and phrases such as "may", "should", "should not", and "are encouraged to" in cases where the community's preferences may be achieved by a range of outcomes. Conformance with guidelines is not mandatory, however, conformance is encouraged to expedite the approval process.

Section 2: District Zone Regulations

For each District Zone, a common set of site development regulations is intended to cluster complementary land uses, and to achieve a consistent physical outcome.

Regulating Plan

The Regulating Plan illustrates the District Zones for all properties within the Plan Area, and illustrates the location of additional site-specific requirements.

Site Development Regulations Summary Chart

The Site Development Regulations Summary Chart summarizes regulatory and site development standards for each District Zone.

Land Use Regulations and Summary Chart

The Land Use Regulations Summary Chart indicates exemplary permitted, conditionally permitted, and prohibited uses for each District Zone.

Site Development Regulations

- Building Placement
- Building Height
- Building Length
- Frontage Coverage
- Building Types
- Frontage Types

Waterfront District Zone

Special urban design regulations intended to guide development within the Waterfront District Zone.

Section 3: District-Wide Regulations

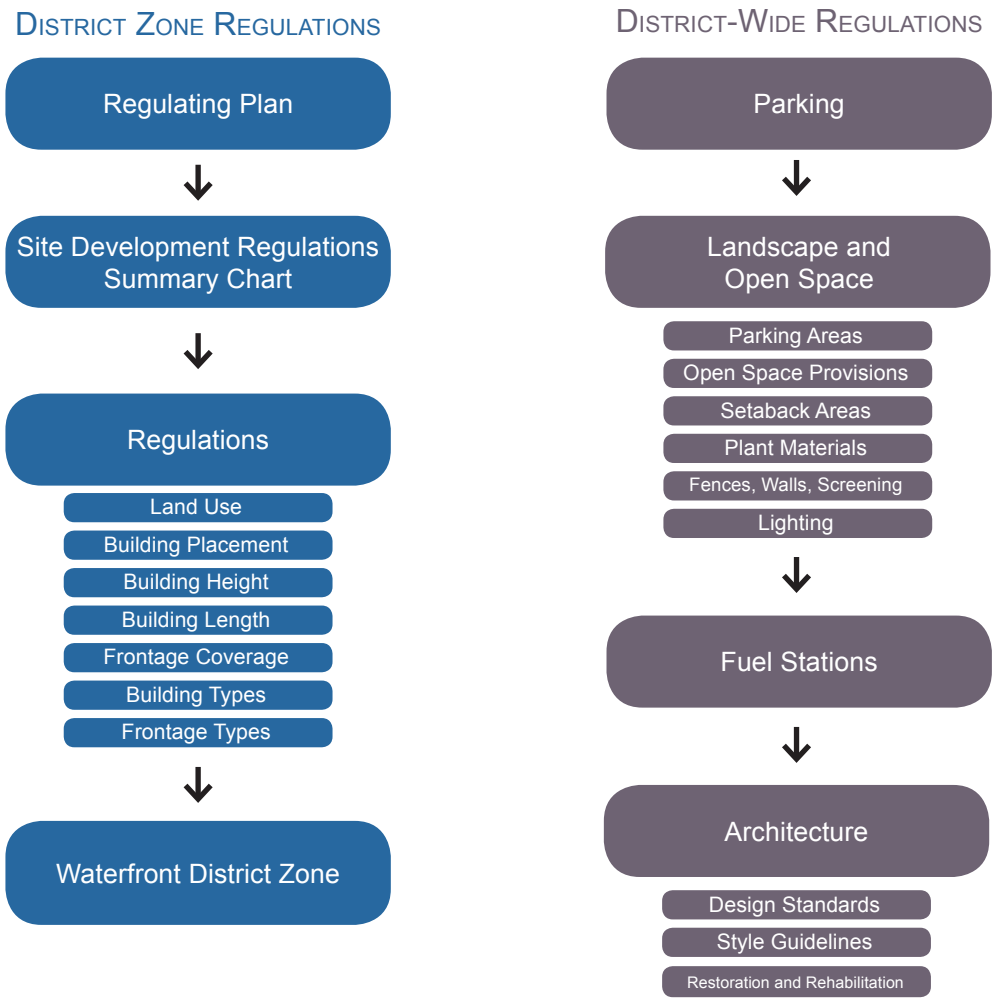
District-Wide Regulations apply to all properties throughout the Plan Area.

District-Wide Regulations

- Landscape and Open Spaces
- Parking
- Fuel Stations
- Architecture Design Standards
- Architecture Style Guidelines
- Guidelines for Rehabilitation and Restoration

1.5 HOW TO USE THE REGULATING CODE

Step 1. Locate the parcel on the Regulating Plan. Determine the parcel's District Zone.
Step 2. Note any additional site-specific requirement indicated on the Regulating Plan for the specific parcel location.
Step 3. Refer to the Site Development Regulations Summary Chart for a summary of applicable site development standards for the District Zone.
Step 4. Review sections 2.2-2.6 for definitions for Land Use, Building Placement, Building Height, Building Length, and Frontage Coverage
Step 5. Review section 2.7 for Building Type standards and guidelines.
Step 6. Review section 2.8 for Frontage Type standards and guidelines.
Step 7. If the property falls in the Waterfront District Zone, review Section 2.9 for special site development regulations.
Step 8. Review section 3 District-Wide Regulations for requirements pertaining to Parking, Landscape and Open Space, Fuel Stations, and Architecture.
Step 9. Meet with City Staff to review the project prior to submitting a formal application - Staff input can be critical prior to site and architectural design review.
Step 10. Submit appropriate project applications.



2.0 DISTRICT ZONE
REGULATIONS

2.1 District Zones
2.2 Land Use Categories
2.3 Building Placement
2.4 Building Height
2.5 Building Length
2.6 Frontage Coverage
2.7 Building Types
2.8 Frontage Types
2.9 Waterfront District Regulations

DISTRICT-ZONE REGULATIONS

District Zones

Park Street General (PSG)
As a gateway to the City of Alameda, Park Street General is composed of attractive buildings located near to the back of the sidewalk having a mix of commercial, workplace, and compatible residential uses that support a pedestrian-friendly environment. Parking is located on-street and in shared parking lots to the rear and side of buildings. Retail uses are intended to complement rather than compete with the historic Downtown located south of Lincoln Avenue.

Workplace Neighborhood (WN)
The Workplace Neighborhood contains a variety of building types having a mix of workplace, commercial, and compatible residential uses. Building types, land uses, and site design principles create an environment that supports a range of commercial activities that are compatible to adjacent residential and mixed-use districts.

Mixed-Use Neighborhood (MUN)
The Mixed-Use Neighborhood is comprised primarily of residential and compatible workplace uses. Workplace uses are permitted in residentially-compatible building types. New live-work and residential building types are similarly encouraged.

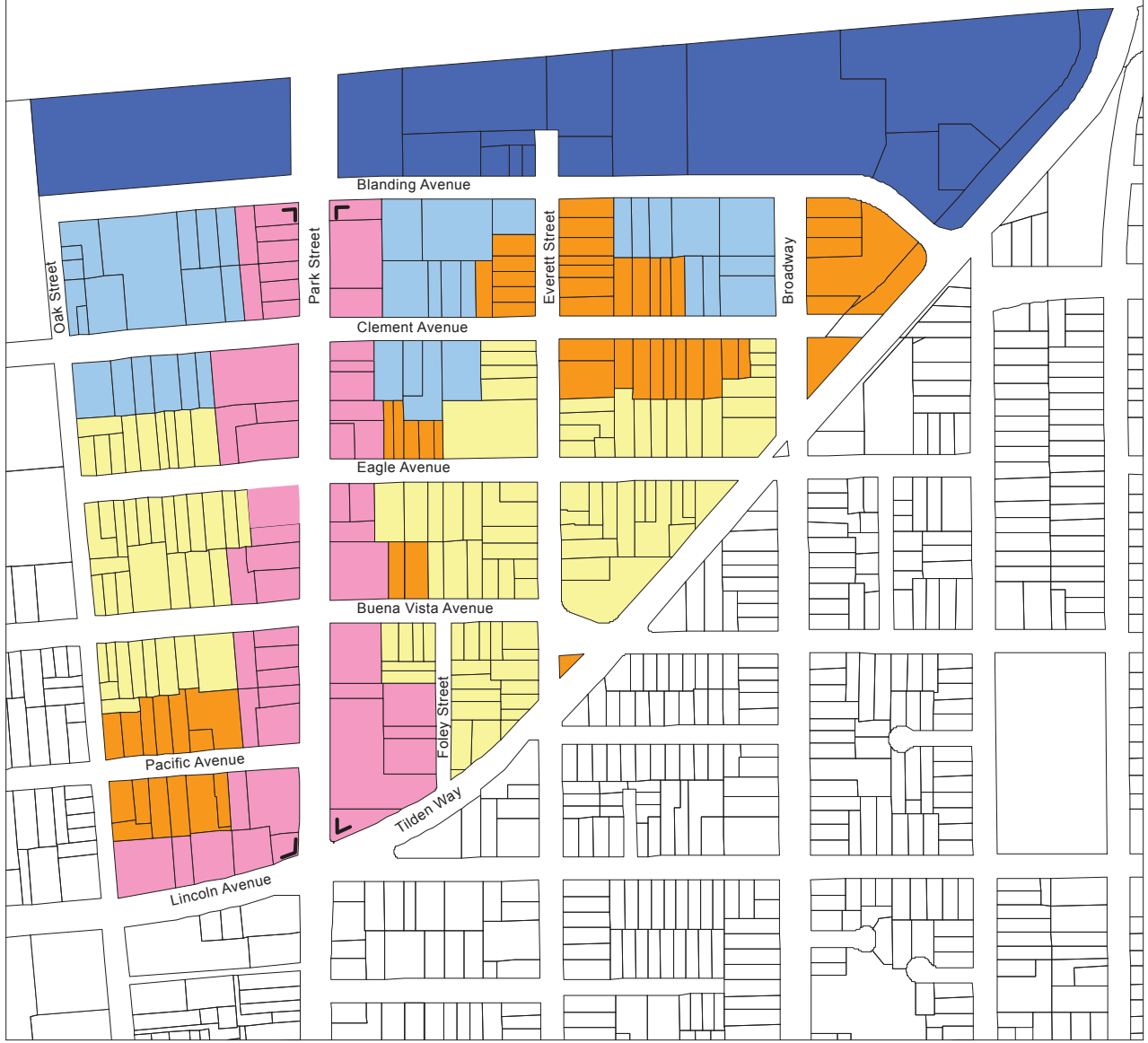
Residential Neighborhood (RN)
The Residential Neighborhood is home to many historic homes and has a distinctive residential character. Regulations for site-development, building types, and architecture are designed to preserve and enhance residential character. Workplace uses are conditionally permitted in residential building types, and must be compatible with adjacent residences.

Waterfront (WF)
Between Blanding Avenue and the estuary, the Waterfront District contains a mix of land uses, building types, and development patterns to enhance pedestrian activity. The Code allows for a flexible approach to infill and redevelopment in support of overall district growth and revitalization.

REGULATING PLAN SYMBOLS

Corner Treatment Required [see Section 2.3 for details]

Regulating Plan



DISTRICT-ZONE REGULATIONS

Site Development Regulations Summary Chart

District Zones	Park Street General	Workplace Neighborhood	Mixed-Use Neighborhood	Residential Neighborhood	Waterfront
Building Placement					
Front Setback (min - max)	0' - 15'	0' - 20'	10' - 30'	15' - 30'	See Section 2.9
Side Street Setback (min - max)	0' - 20'	0' - 20'	5' - 10'	5' - 10'	See Section 2.9
Side Yard Setback (min)	0'	5', 0' (PSG)	5'	5'	See Section 2.9
Rear Setback (min)	10'(WN), 20'(MUN, RN)	10'(WN), 20'(MUN, RN)	20'	20'	See Section 2.9
Alley Setback (min)	0'	0"	10'	10'	See Section 2.9
Paseo / Courtyard (min)	0'	0'	10'	10'	See Section 2.9
Space Between Buildings (min)	0'	0'	8'	8'	See Section 2.9
Corner Treatment	Required at ⌟	NA	NA	NA	NA
Building Height					
Primary Building					
Minimum	1 floor, 20 feet	1 floor, 16 feet	2 floors, 20 feet	NA	1 floors, 16 feet
Maximum	4 floors, 50 feet	3 floors, 40 feet	3 floors, 40 feet	2 floors, 24 feet	4 floors, 50 feet
Accessory building (min - max)	12 ft - 24 ft	12 ft - 36 ft	12 ft - 36 ft	12 ft	12 ft
Carriage House (min - max)	NA	NA	12 ft - 24 ft	12 ft - 24 ft	12 ft - 24 ft
Building Length					
Building Length (max)	200'	160'	110'	52	200'
Frontage Coverage (min)					
Frontage Coverage (min)	85%	70%	NA	NA	See Section 2.9
Building Types					
Commercial Block	permitted	permitted	---	---	permitted
Workplace Commercial	permitted	permitted	---	---	permitted
Live-work	permitted	permitted	permitted	---	permitted
Stacked Flats	---	permitted	permitted	---	permittied
Multiplex	---	permitted	permitted	permitted	permittied
Rowhouse	---	permitted	permitted	permitted	permittied
Courtyard Housing	---	permitted	permitted	permitted	permitted
Single-family Detached	---	---	permitted	permitted	---
Parking Structure	permitted	permitted	---	---	permitted
Frontage Types					
Storefront	permitted	permitted	---	---	permitted
Formal Entry	permitted	permitted	permitted	---	permitted
Forecourt	permitted	permitted	permitted	permitted	permitted
Stoop	---	permitted	permitted	permitted	permitted
Frontyard	---	permitted	permitted	permitted	permitted
Residential Development Requirements					
Residential Density (max dwelling units per acre)	21.78	21.78	21.78	10	21.78
Residential Lot Size (min)	NA	2000 sq. ft.	2000 sq. ft.	5000 sq. ft.	2000 sq. ft.

Legend

g	Ground floor
u	Upper floor
NA	Not applicable
---	Not permitted
(PSG)	Adjacent to Park Street General
(WN)	Adjacent to Workplace Neighborhood
(MUN)	Adjacent to Mixed Use Neighborhood
(RN)	Adjacent to Residential Neighborhood

Note:
For Standards and Guidelines for Parking, Landscape and Open Space, Fuel Stations, and Architecture, see District-Wide Regulations.

2.2 LAND USE

Purpose and Intent
This section contains a description of each Land Use Category permitted in the District Zones, and a Land Use Summary Chart summarizing permitted and conditionally-permitted uses for each District Zone.

Introduction

Land uses permitted in the Code's District Zones are organized into the following eight Use Categories: *Main Street Retail, General Commercial, Destination Retail, Service Commercial, Workplace, Work-Live, Residential, Lodging, Civic & Cultural.*

The Land Use Summary Charts on the following page do not identify all of the permitted and conditional land uses that would be appropriate for each District Zone. Each application will be evaluated in terms of its conformance with the intent of the *Land Use Category* and with the Code's vision for the respective District Zone. Determination of "similar" uses is subject to review by the Planning Director.

Conditional uses shall be reviewed by the Planning Board for their appropriateness in support of envisioned District character

- Non-residential uses operating between 10:00 PM and 7:00 AM are conditionally permitted in the PSG, WN and MUN District Zones

Prohibited Uses

The following uses are prohibited in the Plan Area.

- Gun shops
- Multiplex movie theater
- Discount cigarette sales

Main Street Retail

Intent: Main Street uses offer goods and services that attract and sustain pedestrian activity in support of a vibrant, walkable, and diverse environment for shopping, strolling, dining and entertainment.

Notes:

1. Uses that detract from the pedestrian-oriented character and synergy of the district are prohibited.

General Commercial

Intent: General Commercial uses include sales and services that do not necessarily create significant pedestrian activity and generally serve customers arriving by automobile.

Notes:

1. Where auto-parts are sold, all merchandise must be displayed within enclosed buildings.

Destination Retail

Intent: Destination Retail uses create regional draw, helping to attract visitors and tourists to Alameda. They may have large parking demands and may create a higher level of noise than is appropriate for adjacent residential or mixed-use development.

Service Commercial / Manufacturing

Intent: Businesses that serve in a vital role to the greater Alameda community, strengthen the Alameda economy, and create jobs. Where conditionally permitted, businesses must be compatible with adjacent residential and mixed use development.

Notes:

1. All auto and boat repair, service, and related operations (excluding washing) shall be conducted principally within and behind enclosed buildings, and shall not be visible from adjacent residential properties.

Workplace

Intent: Workplace uses include professional office and business services. Where conditionally permitted, uses shall be compatible with residential uses, and support the district's pedestrian-friendly environment.

Work/Live:

Intent: Work/Live uses are permitted in accordance with Section 30-15 of the Municipal Code.

Residential

Intent: The Residential Use Category includes a range of permitted residential development types that support safe, active, and pedestrian-oriented neighborhoods.

Notes:

1. Dwelling types may contain apartments, flats, town-houses, lofts or single-family homes in accordance with permitted building types.
2. Live-work is defined as an integrated dwelling and work-place. Work activity shall be registered as a business and may include residentially-compatible practices such arts, crafts, graphic design, photography, jewelry-making, and similar activities, personal services and business services including and similar to art-therapy, financial planning, physical therapy, marriage and family therapy etc. Activities that require hazardous material, or generate significant noise are not permitted.
3. Home occupations shall be in compliance with the standards as set forth in Section 30-2.
4. Family day care homes, Large and Family day care homes, Small, as licensed by the State of California.
5. Residential care facilities providing care for no more than 6 persons.

Lodging

Intent: The Lodging Land Use Category defines lodging types permissible in the Plan Area.

Civic & Cultural

Intent: Civic and Cultural uses permit a range of public and quasi-public uses intended to serve residents and visitors to the Park Street Districts.

DISTRICT-ZONE REGULATIONS

Land Use Summary Chart

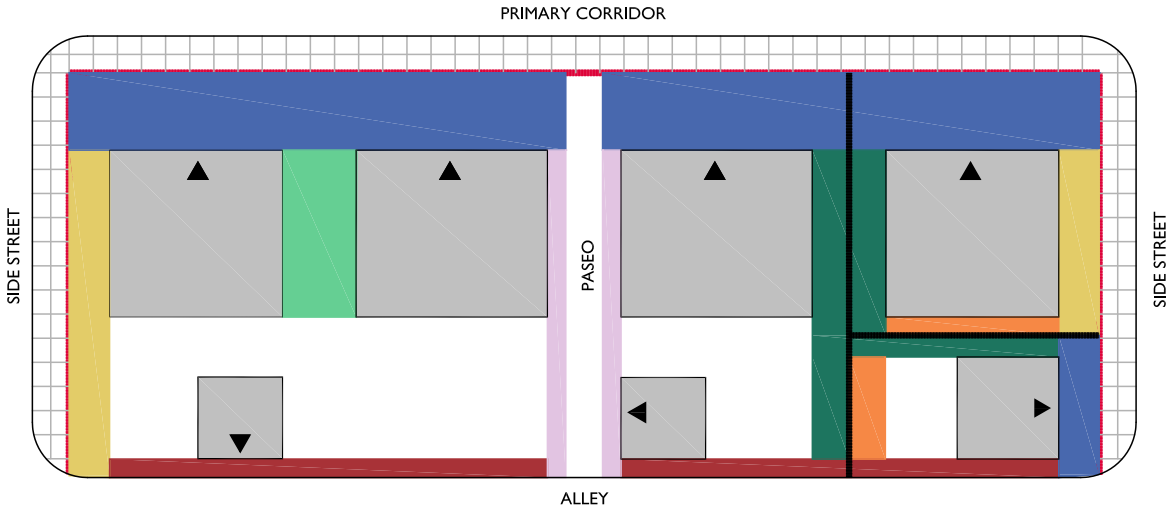
District Zones	PSG	WN	MUN	RN	WF
Main Street Retail					
Bars, nightclubs, and similar uses serving alcoholic beverages not clearly ancillary to food sales.	conditional	---	---	---	conditional
Eating establishments such as restaurants, cafés, bistros and similar	conditional	---	---	---	conditional
Food markets under 5,000 square feet.	conditional	---	---	---	conditional
Performing arts studios and art galleries.	permitted	permitted	conditional	---	conditional
Personal and Business Services such as hair and nail salons, clothing alterations, copy shops, dance studios, fitness and health clubs, internet cafes, marial arts, message and physical therapy, shoe and luggage repair, yoga studios.	conditional	---	---	---	conditional
Specialty food sales including and similar to: bakeries, cheese shops, delicatessens, ice cream parlors, gourmet and health foods, wine shops etc.	conditional	---	---	---	conditional
Specialty retail including and similar to: antiques, apparel, accessories, art supplies, bicycles, books, flowers, boutique furniture, housewares, music and musical instruments, pharmacy, photographic equipment, sporting goods, toys, video rental etc.	permitted	---	---	---	conditional
General Commercial					
Automobile fuelling stations.	conditional	conditional	---	---	conditional
Auto-parts sales.	conditional	conditional	---	---	conditional
Bars, nightclubs, and similar uses serving alcoholic beverages not clearly ancillary to food sales.	conditional	conditional	---	---	conditional
Business services including and similar to banks and financial institutions, catering services, print services, real-estate agencies, travel agencies etc.	permittied	permitted	---	---	permitted
Eating establishments over 3,000 square feet.	permittied	conditional	---	---	permitted
Educational services including and similar to: colleges, adult schools, music schools etc.	conditional	conditional	conditional	---	conditional
Entertainment uses including and similar to: amusement centers, indoor entertainment.	permittied	conditional	---	---	permitted
Food stores over 5,000 sq. ft. including and similar to grocery stores, markets, and packaged goods.	permittied	conditional	---	---	permitted
Personal services including and similar to: adult care, child care, dance and gymnastics training centers, health spas, exercise clubs, martial arts.	permittied	permitted	conditional	---	conditional
Retail sales including and similar to: apparel, auto sales, boat sales, computer supply, decorator arts and design center, home furnishings, household appliances and electronics, lamps/lighting, office supply, pharmacies, sporting goods, etc.	permitted	conditional	---	---	conditional
Destination Retail					
Large-scale indoor entertainment venues including and similar to sports complexes, indoor amusement centers, movie theaters, music, and entertainment venues.	permitted	conditional	---	---	conditional
Outdoor special events.	S	S	S	S	S

District Zones	PSG	WN	MUN	RN	WF
Service Commercial / Manufacturing					
Automobile service, rental and repair.	conditional	conditional	---	---	conditional
Marina and associated facilities including boat slips and live-aboards.	---	conditional	---	---	permitted
Boat service, and repair.	conditional	permitted	---	---	permitted
Light manufacturing and machine shops	---	---	---	---	conditional
Workplace					
Administrative, business and professional uses including and similar to accounting and financial, telecommunications, design related, real estate, research and development etc.	permitted	permitted	conditional	---	permitted
Educational and Instructional Facilities.	permitted	permitted	conditional	---	conditional
Professional offices & services including and similar to medical and dental offices.	permitted	permitted	conditional	---	permitted
Work/Live					
Intent: Work/Live uses are permitted in accordance with Section 30-15 of the Municipal Code.	permitted	permitted	permitted	---	conditional
Residential					
Apartments, flats, townhouses, lofts, or other dwelling types located in new and existing buildings, in accordance with permitted building types.	permitted - u	conditional	permitted	permitted	permitted
Live/Work.	permitted	permitted	conditional	---	conditional
Family day care homes.	permitted - u	permitted	conditional	conditional	conditional
Residential care facilities providing care for no more than 6 persons.	permitted - u	permitted	conditional	conditional	conditional
Private and religious schools, day care centers and churches.	conditional	conditional	conditional	conditional	conditional
Community care facilities not listed under uses permitted.	conditional	conditional	conditional	conditional	conditional
Lodging					
Lodging uses including and similar to bed and breakfast, inns, motels, and hotels.	permitted	permitted	permitted	---	permitted
Civic & Cultural					
Civic and Cultural uses including and similar to government center or office, library musum etc.	permitted	permitted	conditional	conditional	permitted
Quasi-public uses including and similar to conference centers, teen and senior centers etc.	permitted	permitted	conditional	conditional	permitted
Non-profit services, fraternal organizations, clubs, union halls, and similar organizations.	permitted	permitted	permitted	---	conditional
Public parks and open spaces	conditional	conditional	permitted	permitted	permitted
Public parking facilities (structures and lots)	conditional	conditional	conditional	---	conditional

Legend

- PSG — Park Street General
- WN — Workplace Neighborhood
- MUN — Mixed-Use Neighborhood
- RN — Residential Neighborhood
- WF — Waterfront District
- u — Upper Floors
- S — Special Event Required

2.3 BUILDING PLACEMENT



▲ PRIMARY BUILDING FACADE
PROPERTY LINE
RIGHT OF WAY

Front Setback: The required minimum and maximum distance permitted from the right-of-way line or property line along the primary street to the front building facade.

Where a range is permitted, new buildings should be located in accordance with the setback of adjacent buildings to enhance the 'streetwall' character of the blockface.

Side Street Setback: The required minimum distance from the public right-of-way on a side street to the side street building facade.

Side Yard Setback: The required minimum distance from the side property line to the side wall of any building.

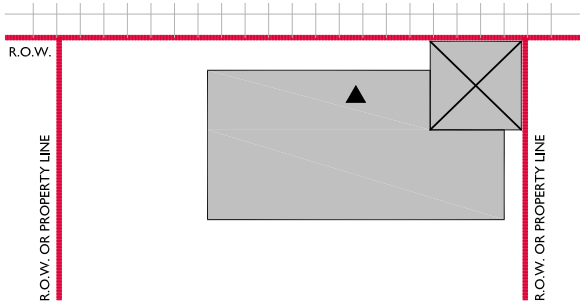
Rear Setback: The required minimum distance from the rear property line to the rear building facade.

Alley and Parking Lot Setback: The required minimum distance from the paved edge of an alley or parking lot to any building facade.

Paseo and Courtyard Setback: The required minimum distance from the paved edge of a paseo or courtyard to the adjacent building wall.

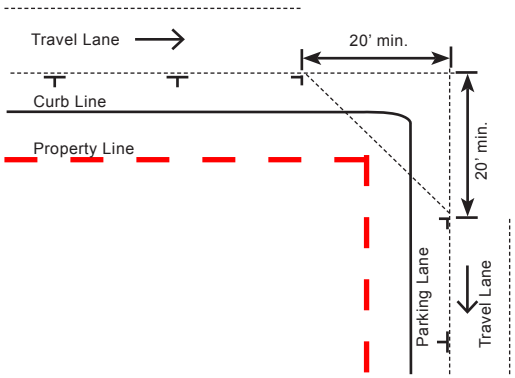
Space between Buildings: The required minimum distance between two adjacent buildings on a single property.

Corner Treatment



▲ PRIMARY BUILDING FACADE

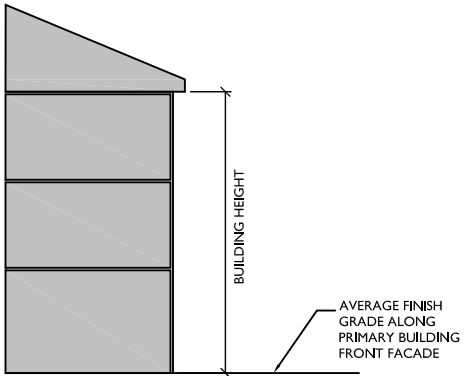
Where noted on the Regulating Plans, buildings shall include a significant architectural expression or corner tower to emphasize the corner location. Buildings should be built to the primary and side street right-of-way line for a minimum distance of 10 feet from the corner so long as they do not obstruct the Visibility Zone (see below)



Visibility Zone is determined by the City Engineer, and is generally the area on a corner of two (2) intersecting vehicular travel ways encompassed by a triangle, two (2) of the sides of which are no less than twenty (20') feet in length and are coincident with the edge of a vehicular travel way, except in specific cases where the City Engineer determines that safety considerations require a modified visibility zone.

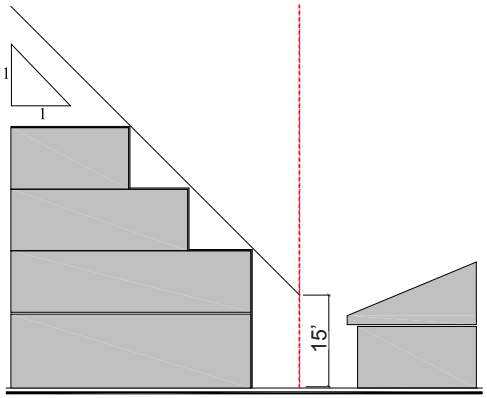
2.4 BUILDING HEIGHT

A.



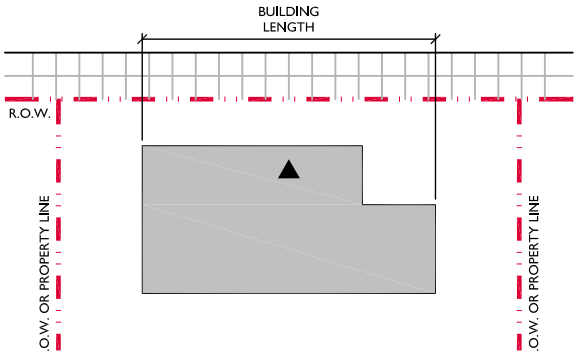
Building height is the vertical extent of any building mass measured from the average finished grade along the primary building facade to the base of cornice, parapet, or eave line. Corner towers may exceed maximum height by up to 12 feet provided that the tower footprint is less than 25% of the building footprint. Accessory buildings shall not exceed height of primary building.

B.



Where adjacent to a single-family detached house, building height for both primary and accessory buildings is limited by a 45 degree 'relational' line originating at a height of 15 feet along the side property line.

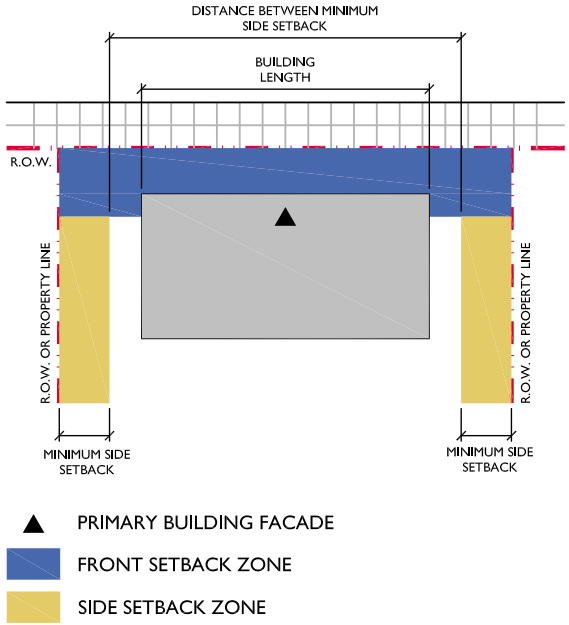
2.5 BUILDING LENGTH



Building length is defined as the total length of the primary building facade fronting on a corridor. For corner parcels, maximum building length standards apply to both front and side facades.

For parcels containing more than one building, maximum building length regulations apply to each building independently. Individual building length shall not exceed the maximum building length specified on the Regulations Summary Chart.

2.6 FRONTAGE COVERAGE



Frontage coverage is used to ensure that District streets are 'framed' by buildings.

Frontage Coverage is defined as the minimum percentage of the area between the minimum side setbacks that must be occupied by building mass, plazas, or paseos, along the primary street frontage. The frontage coverage requirement may be satisfied by multiple buildings on a single property.

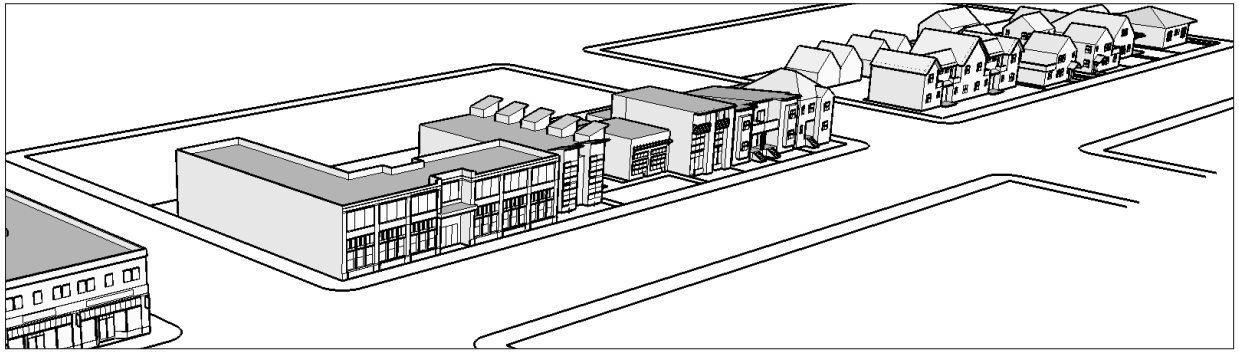
To determine frontage coverage, divide the combined length of buildings, plazas and paseos by the distance between the minimum side setback lines.

2.7 BUILDING TYPES

Purpose and Intent

This section contains standards and guidelines for all building types permitted in the Plan Area.

Building type standards and guidelines shall be used in combination with regulations for Frontage Types and Architectural Standards and Guidelines to ensure that new development is consistent with the City's goals for building form and community character.



Applicability

Each proposed building shall be designed as one of the individual building types permitted for the District Zone in which the property is located. Multiple building types may be built on a single property.

A complex building type may incorporate multiple individual building types within a single structure. Each individual building component shall adhere to the standards and guidelines for its respective building type.

The Regulations Summary chart lists the building types permitted for each District Zone. A range of building types is permitted within each District Zone to ensure a visually appealing and diverse architectural presence.

Overview

The standards and guidelines for building types contained in this section are provided to ensure that the massing and composition of new buildings embody architectural character and scale supportive of a pedestrian-friendly environment.

For each Building Type, a brief description is followed by standards and guidelines for *massing and composition*, *articulation*, *building elements*, and *access and parking*. A list of *architectural styles* common to the respective building type is provided for reference. Applicants shall follow the standards and guidelines to establish the primary form and scale of proposed buildings. For details pertaining to the design and expression of specific architectural details and elements, refer to Architectural Standards and Guidelines.

Contents

Massing and Composition describes a building's mass, shape, and disposition relative to its surroundings.

Articulation affects a buildings's perceived scale and character by "breaking down" its horizontal (length) and vertical (height) facades into human-scale components supportive of Alameda's small-town character.

Building Elements refers to design features that help to create opportunities for expression of architectural character and detail. Suggested elements may not be appropriate to all architectural styles. Design and arrangement of specific building and facade elements should be in accordance with the building's architectural style.

Access and Parking refers to the relationship among buildings, autos, and pedestrians.

Frontage Types specifies a list of appropriate conditions to guide the space between the building and the public right-of-way.

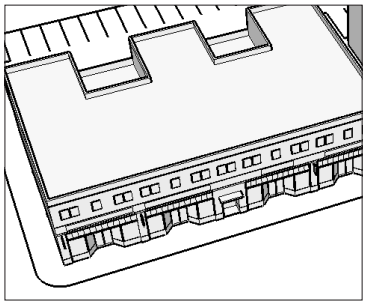
Common Architectural Styles suggests styles found in this Code's Architectural Style Guidelines that are recommended for the building type.

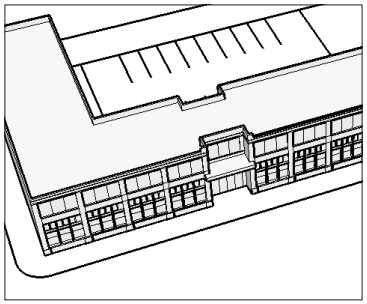
A concept plan and perspective line drawing illustrate typical massing configurations. These drawings do not represent a specific required design or configuration, rather they are provided simply to reference typical building composition.

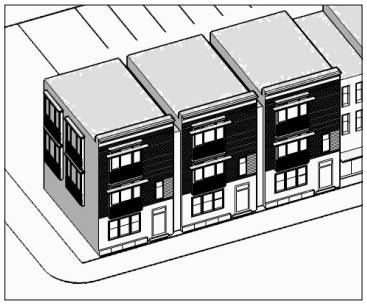
A series of photographs of exemplary buildings are provided illustrate typical configurations, and common styles. These examples do not indicate standards or mandatory aspects of building design, rather, they are provided as visual aids to assist with the application and design review process.

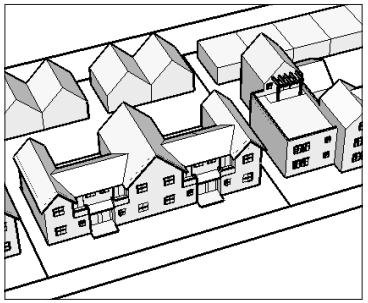
Carriage Houses and Accessory Buildings
Carriage houses, defined as an accessory building containing a dwelling unit, and (non-dwelling) accessory buildings are permitted throughout the Plan Area. Buildings should be located at the rear of the property, and designed to complement the architecture of the primary building. Carriage houses may contain garages on the ground floor and living spaces above.

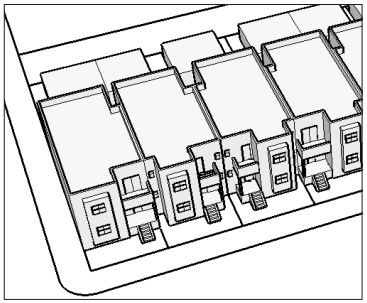
The Building Types:

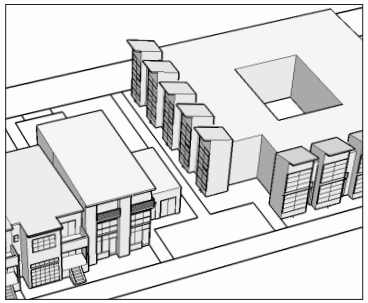

A. Commercial Block


B. Workplace Commercial

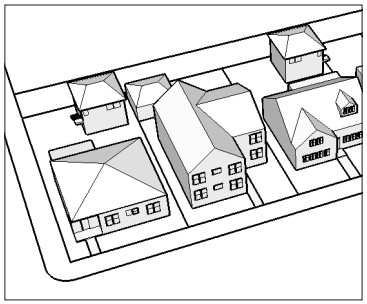

C. Stacked Flats

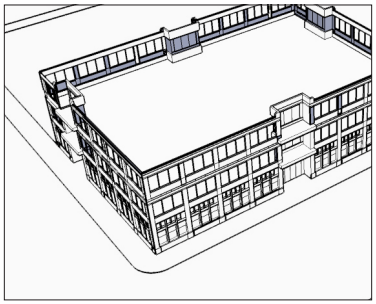

D. Multiplex


E. Rowhouse


F. Live-work

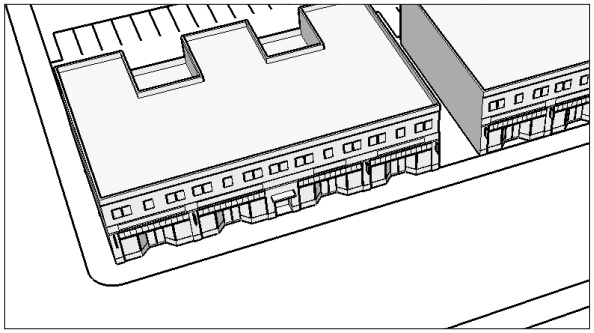
G. Courtyard Housing

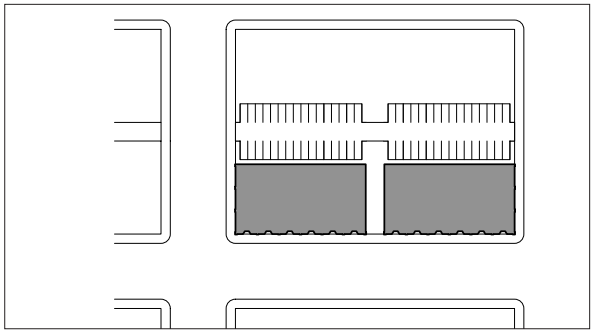

H. Single-family Detached


J. Parking Structure

2.7.A Commercial Block

A building designed with ground-floor storefronts for "Main Street" retail uses. Upper stories are designed for residential, workplace, commercial and/or lodging uses.





Standards & Guidelines

Massing & Composition

- A single distinctive rectangular volume with different façade treatment for the ground-floor and upper stories.
- Ground-level storefronts are the prominent feature in the hierarchy of the building facade, and are accentuated with a high degree of articulation.
- For corner locations the primary street façade design should wrap around to the side elevations.
- Stair or elevator towers shall be treated in the same architectural manner as the main building.
- Stair or elevator towers should be setback from the street to minimize its visual prominence.

Articulation

Height

- Details of volume articulation are determined by architectural style.
- Ground floor storefronts should be a minimum of 14 feet clear interior height.
- Transom or clerestory windows are required in single-story buildings and are strongly recommended in multi-story buildings to accentuate storefront building height. The height of the storefront and clerestory or transom window shall be a minimum of 10 feet.
- Multi-story buildings shall have a clearly defined ground floor delineated by a cornice, band, or other horizontal course. The ground floor shall be a minimum of 60% of the height of two-story buildings (measured to the second story ceiling height).
- To reduce overall perceived height, multi-story buildings should employ a 'base-shaft-top' configuration, wherein the ground floor serves as the 'base', the middle floor(s) serve as the 'shaft', and the upper floor as the 'top'.
- Additional horizontal courses such as watertables or bellybands or a change in facade materials are encouraged to help delineate upper stories, and shall be designed in accordance with overall style.
- Roof treatment may include a cornice, parapet, or distinctive eave to provide visual interest.

Length

- Building length should be well articulated using facade elements in accordance with architectural style.
- Building bays can be offset and roof lines varied to create a rhythm of building increments that provide visual interest and support pedestrian activity.
- Where upper floors contain lofts, townhouses, flats or other residential units, length articulation should articulate individual dwelling units.

Building Elements

- Alcoves, balconies and terraces are encouraged at upper stories to provide outdoor spaces.
- Ornamental wall-mounted outdoor lighting is encouraged to accent entries, columns or pilasters.
- Blade signs and wall-mounted signs are encouraged to enhance pedestrian scale and character.

Access & Parking

Pedestrian

- Storefront doors provide access to ground floor businesses.
- Upper story uses should be primarily accessed via formal entries. A lobby may provide access to an interior stairwell and/or elevator.
- Pedestrian access to commercial parking areas should not conflict with residential users.

Auto

- Parking should be in provided behind or beside buildings in shared surface lots and on-street.
- Residential units should access surface parking via a building lobby, paseo, or breezeway.
- Interior structured or podium parking areas should

be accessed via stairwells and elevators.

- Retail businesses shall have a rear entry for deliveries and access to garbage and services.

Frontage Types

- Storefronts are required along the ground floor to provide access to Main Street retail uses.
- Formal entries shall be used to provide access to upper story uses.
- A gallery or arcade may be used to create a uniquely pedestrian-friendly environment.
- A publicly-accessible forecourt may be used to create opportunities for public seating, outdoor dining, and display of goods.

Common Architectural Styles

- Victorian
- Colonial Revival
- Neo-Classical
- Early 20th Century Commercial
- Mediterranean
- Art Deco
- Streamlined Moderne
- Modern

Neo-classical buildings are common to historic Park Street.

Traditional commercial block building with corner entry.

This contemporary building incorporates aspects of many traditional styles.

Contemporary Mediterranean style with lofts and flats over storefronts.

Residential lofts over storefronts

Victorian commercial block building with offices over storefronts.

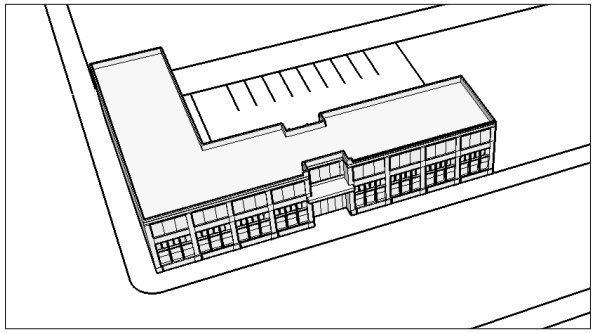
Commercial block building with offices over storefronts.

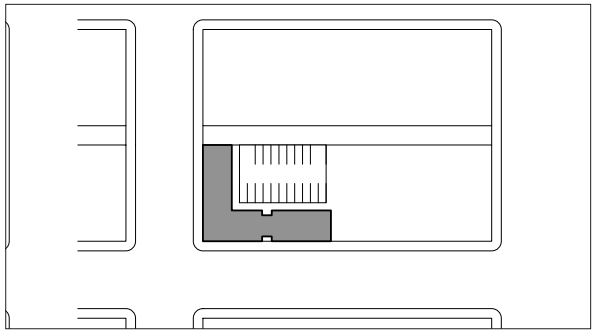
Streamline Moderne commercial block with corner entry.

Stacked flats located above ground floor commercial spaces.

2.7.B Workplace Commercial

A building designed for offices, retail sales and/or services, and/or professional uses on the ground floor, with upper floors configured for commercial, residential, and/or additional workplace uses. This building type is also applicable to service commercial uses and can work well for large-scale retail uses.





Standards & Guidelines

Massing & Composition

- A single distinctive rectangular volume with different façade treatment for the ground-floor and upper stories.
- For corner locations the primary street facing façade design should wrap around to side street elevations.
- Stair or elevator tower shall be treated in the same architectural manner as the main building volume and should be setback from the street to minimize its visual prominence.

Articulation

Height

- Single story buildings should be designed as "grand" buildings, having an interior ceiling height of no less than 14 feet, and an exterior building height of no less than 20 feet.
- Buildings should have a distinctive ground floor and roof treatment.
- Transom or clerestory windows are recommended (especially in single-story buildings) to accentuate the ground floor perceived building height.
- A base treatment is recommended. Base treatments shall project a min. of 1 inch from the wall surface and may employ a change in color, and/or change in material. Roof treatment may include a cornice, parapet, or distinctive eave to provide visual interest.
- Additional height articulation with horizontal courses are encouraged to help delineate overall building height.
- Ground floors should be taller than upper floors.

Length

- Buildings length should be well articulated using facade elements such as columns or pilasters when appropriate to architectural style.
- Building length may be further articulated by offsetting building bays with corresponding roof forms.
- Corner treatment using uniquely detailed roofs or volumes is encouraged to add visual interest.

Building Elements

- Alcoves, balconies and terraces are encouraged at upper stories to provide outdoor spaces.
- Ornamental wall-mounted outdoor lighting are encouraged to accent entries or a sequence of repeating pilasters.
- Wall-mounted signs are encouraged.
- Wall signs are encouraged on corner entries.
- Roof gardens or green roofs should be considered to enhance energy efficiency, reduce stormwater run-off, and provide visual interest.

Access & Parking

- Primary access to ground floor tenants shall be from the fronting street.
- Primary access to upper story uses shall be achieved from formal entries on front or side facades, or from a central lobby, stairwell or elevator.
- Parking for workplace commercial buildings should be primarily located in surface lots behind the primary structure, and on-street.
- Parking and services shall be accessed through an alley where possible.

Frontage Types

- Storefronts are permitted along the ground floor
- Formal entries shall be used to provide access to ground floor and upper story uses.
- An arcade or gallery may be used to create a pedestrian-friendly environment.
- A forecourt may provide an attractive space for seating or outdoor display of goods.

Common Architectural Styles

- Neoclassical
- Early 20th Century Commercial
- Craftsman
- Mediterranean
- Art Deco
- Streamlined Moderne
- Modern

Workplace commercial building with showroom windows and formal entry.

Early 20th Century workplace commercial building with ground-floor retail and second story offices.

Modern workplace commercial building in the Workplace Neighborhood District.

Contemporary workplace commercial with divided-lite transom windows.

New construction neoclassical workplace building.

Historic workplace commercial building with garage entrance.

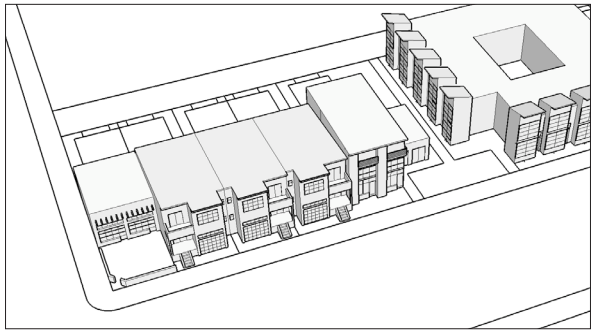
Art deco workplace commercial building.

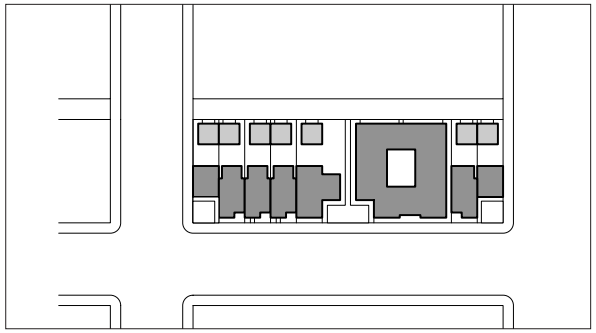
"Grand" single story neoclassical workplace commercial building with corner entry.

Modern workplace commercial building with brick base treatment to arcade.

2.7.C Live-Work

A building designed for integrated residences and workspaces. Buildings may be designed to accommodate joint residential occupancy and work activity and may include an internal stairway connecting the live and work spaces. This building type is ideally suited for 'live-work' residential land use, and can be used to transition between workplace and residential buildings in the Park Street Districts.





Standards & Guidelines

Massing and Composition

- Buildings shall be located so that ground-floor commercial spaces are flush with adjacent sidewalks or, when organized as courtyard housing, commercial entries shall be flush with adjacent pathways, courts, or common spaces.
- Where located within a predominantly residential block, front setback should be consistent with adjacent residential building setbacks.
- Building design and volumes should be residential in character. Over-scaled or 'bulky' volumes that detract from pedestrian-scale should be avoided.
- Live-work buildings should be designed to be attractive, unique, and to be compatible with adjacent residential architecture.
- Building volumes may be arranged to create outdoor spaces such as courts, paseos, and yards.
- First floor height shall be no less than 12' to accommodate commercial spaces.

Articulation

Height

- Building articulation should complement adjacent residential buildings.
- Common roof treatments include pitched roofs, gables, dormers, and deep eaves appropriate to the style.
- The ground floor should be designed to 'anchor' the building to the ground plane, and can be accomplished with unique architectural design, material or color change, or horizontal articulation at or below the top of the first story.

Length

- Building length should articulate the extents of individual dwellings. Projecting and insetting of building volumes, delineation of bays and entries, and varying roof lines should be employed to add visual interest.
- Individual façade composition should not be excessively replicated. A variety of unit plans or façade designs should be employed over the length of a block face.

Building Elements

- Terraces, balconies, window bays, porches, and roof gardens should be used where appropriate to to create outdoor rooms.
- Entrances may be identified with porticoes, vestibules, and prominent doorways and should provide shelter from weather and sun.
- Shading devices such as overhangs, latticework and trellises should be incorporated where appropriate, especially at south-facing facades.
- Ground-floor windows should be designed to be welcoming and attractive, and may be uniquely designed to accentuate the interior workspace. Upper story windows shall be designed to support privacy for residential spaces.
- Roof gardens or green roofs should be considered to enhance energy efficiency, reduce stormwater run-off, and provide visual interest.

Access & Parking

- Ground floor commercial spaces shall be accessed directly from the primary street, court, or paseo where possible.
- Parking for each unit shall be provided in garages, carports, or in surface lots located behind or alongside the primary building and accessed from rear alleys where possible.
- Where buildings are setback less than 8 feet from the sidewalk, entrances shall be elevated a minimum of 18" inches above finished grade.
- Internal "tuckunder" garages may be accessed

from rear alleys.

- Garages may be accessed from the primary street only when no alley is present and site design prohibits construction of an alley, except on Park Street or Tilden Street, where no access shall be allowed.
- Services shall be accessed through an alley where possible.

Frontage Types

- Storefronts may be used to provide access to ground floor commercial spaces.
- An arcade or gallery is permitted to enhance pedestrian comfort.
- A forecourt may provide outdoor space for a common garden, workspace, or the display of wares.
- Formal entries may be used ot provide access to upper story dwelling units.
- Frontyards are permitted to enhance the transition between the sidewalk and the building façade and can be adorned with a low wall or decorative fence at the back of sidewalk.

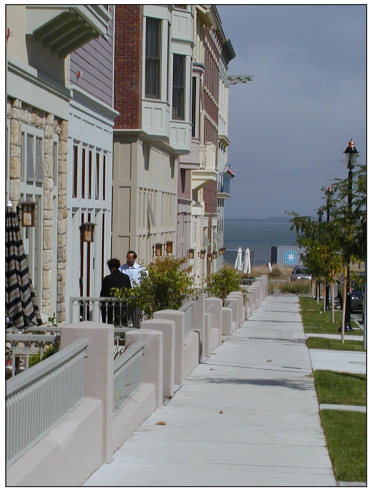
Common Architectural Styles

- Neoclassical
- Early 20th Century Commercial
- Mediterranean
- Art Deco
- Streamlined Moderne
- Modern

Live-work building incorporating integrated residences and workplaces as well as upper-story flats.

Attached live-work townhouses.

Detached live-work unit with terrace connotes strong residential character.

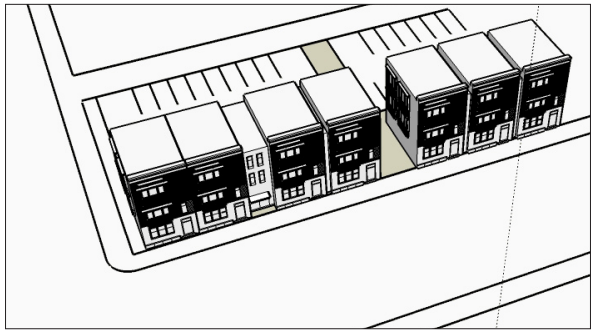


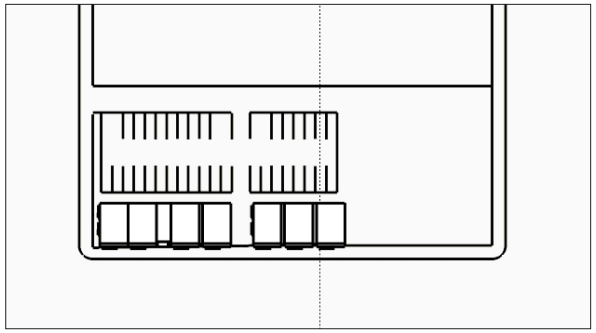
Live-work building setback area treated with low decorative wall and terrace.

Rhythmix cultural works, Alameda, CA.

2.7.D Stacked Flats

A multi-story building comprising flats, lofts, townhouses, or a mix or residential types arranged side-by-side and on multiple floors.





Standards & Guidelines

Massing and Composition

- Building massing should illustrate residential volumes through the offsetting bays, and use of individual roof forms and building elements in accordance with overall style.
- Building facades shall be oriented to the primary street and to interior courts and paseos. Buildings shall not front onto parking areas.
- Building designs that incorporate formal outdoor spaces such as courtyards, plazas, and gardens are encouraged.

Articulation

Height

- A base treatment is recommended. Base treatment shall project a min. of 1” from the wall surface and should have a change in material or color designed in accordance with the building’s architectural style.
- Roof treatment should include a cornice, parapet, cap, or distinctive roofline to provide visual interest in accordance with overall style. Modern buildings may include a combination of roof types to illustrate individual units.
- Additional belt courses are encouraged to help delineate upper stories.

Length

- Buildings length should be well articulated using facade elements such as columns or pilasters when appropriate to architectural style.
- Building length may be further articulated by offsetting building bays with corresponding roof forms.
- Corner treatment using unique roofs or volumes is encouraged to add visual interest.

Building Elements

- Outdoor spaces such as roof gardes, terraces or balconies are strongly encouraged.
- Entrances may be identified with porticoes, vestibules, and prominent doorways.
- Hierarchy of window sizes should reflect the living spaces within.
- A grand formal entry should be used for large buildings. Building architecture adjacent to the entry should be unique to emphasize the entry location and create a visually appealing entry.
- Roof gardens or green roofs should be considered to enhance energy efficieny, reduce stormwater run-off, and provide visual interest.

Access & Parking

- Primary pedestrian access to ground floor dwelling units shall be from the primary street, paseos, and courtyards where possible. Entrances shall be designed with residential character, be prominent, and easy to identify.
- Where buildings are setback less than 8 feet from the sidewalk, entrances shall be elevated a minimum of 18” above finished grade.
- Upper story units should be accessed from a central lobby, or interior stairwell contained within the main building volume.
- Parking should be in garages or car ports accessed from rear alleys where possible.
- Internal “tuckunder” garages may be accessed from rear alleys.
- Garages may be accessed from the primary street only when no alley is present and site design prohibits construction of an alley.
- Parking and services shall be accessed through an alley where possible.

Frontage Types

- Formal entries shall be used for all areas of public access.
- An arcade or gallery may be used to create a uniquely pedestrian-friendly environment.
- A forecourt may be used to create an attractive entry and opportunity for outdoor seating.

Common Architectural Styles

- Victorian
- Colonial Revival
- Neoclassical
- Early 20th Century Commercial
- Craftsman
- Mediterranean
- Art Deco
- Streamlined Moderne
- Modern

Modern style stacked flats fronting onto common court. Parking is located beneath courtyard and accessed via stair tower.

Stacked flats with frontyard and terraced edge.

Three story stacked flats.

Pedestrian and auto access located on front facade due to site constraints.

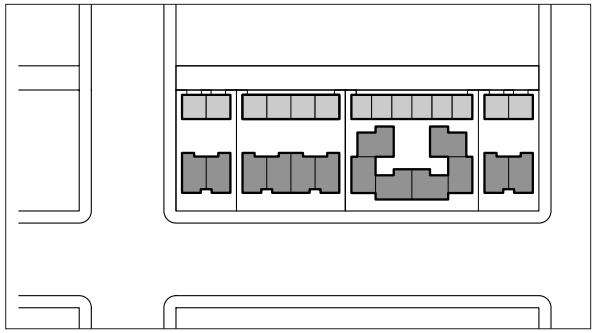
Stacked flats organized around a green court. Common open space enhances community and supports pedestrian experience.

Contemporary stacked flats building with raised corner formal entry and side street automobile access.

Contemporary stacked flats

2.7.E Multiplex

This building type appears as a large scale house and contains two, three, four, or more flats or townhouse units which may be stacked or side-by-side. Common development types include duplex, triplex, quads, and villas. Carriage houses may be located at the rear of the property.



Standards & Guidelines

Massing and Composition

- Buildings should be massed as large houses composed primarily of two-story volumes. Over-scaled or bulky volumes that detract from pedestrian-scale should be avoided.
- Multiplexes should be designed to complement adjacent residential buildings.
- Buildings that are setback less than 8 feet from the sidewalk or pathway shall be elevated a minimum of 18 inches above finished grade.

Articulation

Height

- Building height shall be articulated with residential architecture including pitched roofs, gables, dormers, and deep eaves if applicable to the style.
- Brackets and other design features may be used to add visual interest and shall be designed in accordance with architectural style.
- A base treatment is recommended. Base treatment should project a min. of 1" from the wall surface and should have a change in material or color designed in accordance with the building's architectural style.
- Roof treatment should include a cornice, parapet, cap, gables, deep eaves, or otherwise distinctive roof line in accordance with overall style.
- Additional belt courses including are encouraged to help delineate upper stories where applicable to architectural style.

Length

- Building masses should articulate individual units.
- Projecting and insetting of building volumes, delineation of bays and entries should be employed to add visual interest.
- Hierarchy of window sizes should reflect the living spaces within.

Building Elements

- Building designs that incorporate formal outdoor spaces such as courtyards, plazas, and gardens are encouraged. Terraces or balconies may be used to create variety on upper floors.
- Entrances may be identified with porticoes, vestibules, and prominent doorways.
- Terraces and balconies can be used to create additional variety and support residential character.
- As with all residential building types, windows and doors should be designed and located to avoid privacy conflicts with neighboring buildings.
- Roof gardens or green roofs should be considered to enhance energy efficiency, reduce stormwater run-off, and provide visual interest.

Access & Parking

- Primary pedestrian access to ground floor dwelling units shall be from the primary street, paseos, and courtyards where possible. Entrances shall be prominent and designed to be residential in character
- Upper story units should be accessed from a central lobby, or interior stairwell contained within the main building volume.
- Exterior stairways shall be designed with a high level of craft in accordance with architectural style.
- Parking should be in garages or car ports accessed from rear alleys where possible.
- Services shall be accessed through an alley.
- Internal "tuckunder" garages may be accessed from rear alleys or driveways.
- Free standing garages or carriage houses may be located at the rear of property.
- Garages may only face the primary street where site development prohibits rear access.

Frontage Types

- Formal entries shall be used for all access to ground floor lobbies.
- A forecourt may be used to create an attractive entry and opportunity for outdoor seating.
- Stoops and porches are recommended where first floors are raised above the sidewalk to create gathering spaces for residents.
- Frontyards are permitted to enhance the transition between the sidewalk and the building façade and can be adorned with a low wall or decorative fence at the back of sidewalk.

Common Architectural Styles

- Victorian
- Colonial Revival
- Neoclassical
- Crafsman
- Mediterranean
- Art Deco
- Modern

Spanish Mission Revival 'Villa' containing six individual homes. Formal entries with ornamental walls, wrought iron detailing, and decorative landscaping supports residential character and pedestrian activity.

Multiplex building containing six individual homes. Tudor architectural style and shared common yard enhance residential character.

Duplex with ground floor garden unit and two story apartment above.

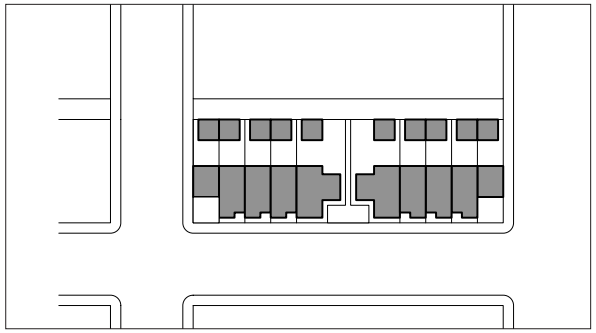
Craftsman-inspired multiplex with shared porch and stoop.

Colonial Revival duplexes with frontyard and decorative fence.

Mediterranean Revival multiplex building with stoop and formal entry.

2.7.F Rowhouse

This building type contains attached multistory dwelling arranged side by side. Rowhouses commonly include stoops on the front facade, and rear yards or gardens to enhance residential character. Rowhouses may be single family or may include a flat or in-law unit located above or below the primary residence.



Standards & Guidelines

Massing and Composition

- Building design and volumes should be residential character. Over-scaled or 'bulky' volumes that detract from pedestrian-scale should be avoided.
- Building facades shall be oriented to the primary street, to courts, paseos, or plazas.
- Building designs that incorporate formal outdoor spaces such as courtyards, plazas, and gardens are encouraged.

Articulation

Height

- A base treatment is recommended. Base treatment shall project a min. of 1" from the wall surface and should have a change in material or color designed in accordance with the building's architectural style.
- Roof treatment should include a cornice, parapet, cap, or distinctive roofline to provide visual interest in accordance with overall style.
- Additional belt courses including are encouraged to help delineate upper stories.

Length

- Building masses should articulate individual units.
- Hierarchy of window sizes should reflect the living spaces within.
- Projecting and insetting of building volumes, delineation of bays, and varying roof lines should be employed to add visual interest.

Building Elements

- Outdoor spaces such as terraces or balconies may be used to create variety on upper floors.
- Entrances may be identified with porticoes, vestibules, and prominent doorways.
- Roof gardens or green roofs should be considered to enhance energy efficiency, reduce stormwater run-off, and provide visual appeal.

Access & Parking

- Primary access to ground floor dwelling units shall be from the primary street, paseos, and courtyards where possible. Entrances shall be designed with residential character, be prominent, and easy to identify.
- Where buildings are setback less than 8 feet from the sidewalk, entrances shall be elevated a minimum of 18" above finished grade.
- Parking should be in garages or car ports accessed from rear alleys where possible.
- Internal "tuckunder" garages may be accessed from rear alleys.
- Garages may be accessed from the primary street only when no alley is present and site design prohibits construction of an alley.
- Services shall be accessed through an alley where possible.

Frontage Types

- Common frontage types include stoops with porches and frontyards.
- Frontyards are permitted to enhance the transition between the sidewalk and the building façade and can be adorned with a low wall or decorative fence at the back of sidewalk.
- Rowhouses may be arranged around a courtyard or front onto a common paseo or auto court.

Common Architectural Styles

- Victorian
- Colonial Revival
- Craftsman
- Mediterranean
- Art Deco
- Streamline Moderne
- Modern

Modern rowhouses with stoops. Upper story terraces enhance residential character and support a pedestrian-friendly environment.

Single-family rowhouses with stoops and decorative landscaping establishes a residential setting along a neighborhood street.

Modern rowhouses with stoops and unique building volumes.

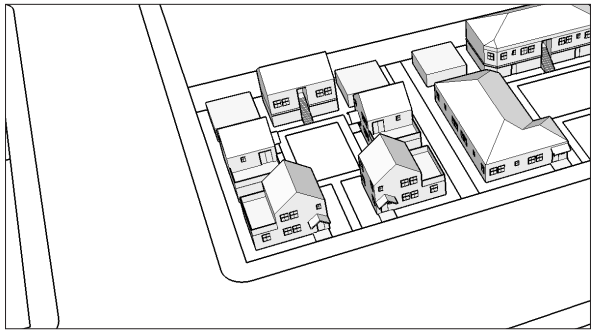
Rowhouses containing residential lofts. Gardens at rear of building provide a mix of private and shared open space.

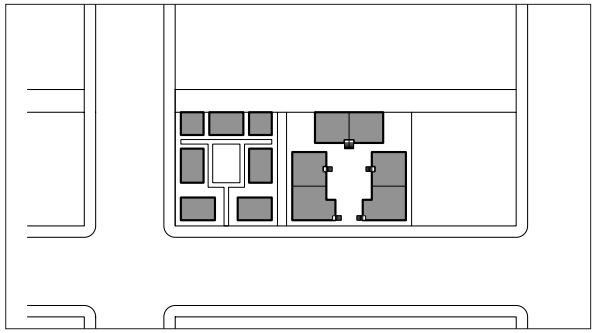
Modern rowhouses with terraces to enhance overall community environment.

Modern rowhouses located along a waterfront promenade.

2.7.G Courtyard Housing

A group of dwelling units arranged around a shared courtyard or series of courts. Pedestrian access to courtyards shall be from the primary street. Buildings may include stacked flats, multiplex dwellings, rowhouses, live-work buildings, and/or single-family detached houses. See Landscape and Open Space standards and guidelines for additional information pertaining to courtyard design





Standards & Guidelines

Massing and Composition

- Building design and volumes should be of residential character. Over-scaled or 'bulky' volumes that detract from pedestrian scale architecture should be avoided.
- Building facades shall be oriented to the courtyard. Buildings at the 'head' of the court shall be oriented toward the primary street and may have a second entrance fronting onto the courtyard.
- Duplexes should be designed to be compatible in scale with adjacent residential architecture.
- Buildings that are setback less than 8 feet from the sidewalk or pathway shall be elevated a minimum of 18 inches above finished grade.

Articulation

Height

- Roof forms and building height articulations should add visual interest and create attractive residential character. Common roof types include hip, gable, and parapet. All roofs shall be designed in accordance with architectural style.

Length

- Building masses should emphasize individual dwelling units. Hierarchy of window sizes should reflect the living spaces within.
- Projecting and insetting of building volumes, delineation of bays, and varying roof lines should be employed to add visual interest.

Building Elements

- Windows and doors should be designed and located to avoid privacy conflicts with neighboring dwellings and buildings.
- Windows that front onto the courtyards should be designed to ensure that a comfortable level of privacy is maintained.
- Porches, balconies, and terraces are strongly encouraged to create private open spaces and should be designed in accordance with overall architectural style.

Access and Parking

- A formal entry to the courtyard is encouraged, and may be achieved using plant materials, and/or a low ornamental wall or fence.
- Courtyards should appear welcoming and not feel walled-off. They should provide views onto adjacent streets and be visible from adjacent sidewalks to increase safety.
- Each building shall be accessible from the courtyard. Buildings that front the street may have an additional entry fronting onto the courtyard.
- Parking for courtyard housing shall be located behind units or in adjacent lots or carports accessible from a rear alley, sidestreet, or driveway.
- Clustered garages or car ports are recommended and should be hidden from view from the primary street and from the courtyard.
- Where an alley is present, building services including all utility access and trash services shall be accessed from the alley.

Frontage Types

- Stoops and porches may be used to provide access to ground floor dwelling units.
- Formal entries may be used ot provide access to upper story dwelling units.
- Frontyards are permitted to enhance the transition between the courtyard and the building façade. Yards should not be walled-off from the courtyard.

Common Architectural Styles

Colonial Revival

Craftsman

Mediterranean

Art Deco

Modern

Single-family Craftsman bungalows arranged around a shared courtyard.

Primary pedestrian entry to this 'bungalow' court is treated with formal landscaping and accented with a pedestrian-scale gateway monument.

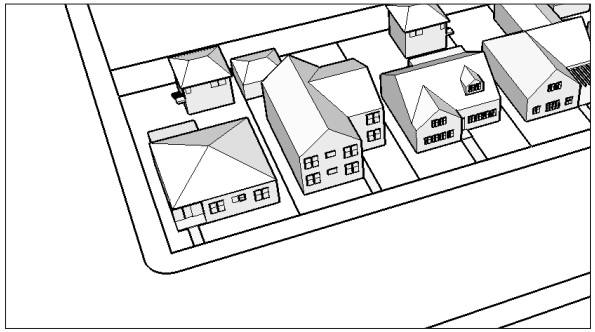
Courtyard housing provides opportunities for neighbors to gather.

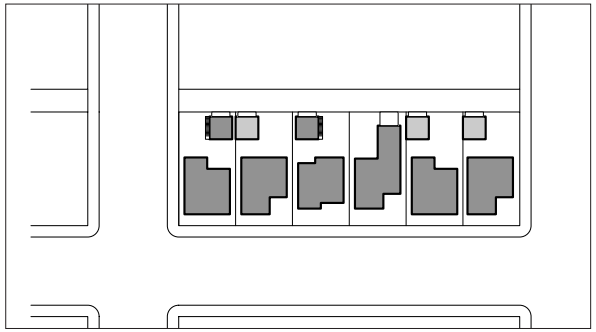
Courtyard and building styles should be designed in harmony.

Enhanced landscaping creates a welcoming environment in this courtyard set on a narrow parcel.

2.7.H Single-family Detached

A free-standing structure designed specifically to accommodate one residence. Single-family houses may front onto primary streets, or may be arranged around a courtyard. Carriage houses may be located at the rear of the property.





Standards & Guidelines

Massing and Composition

- Single-family houses shall convey a strong residential character. Building design and massing should be residential in character and will in large part be determined by architectural style.
- Over-scaled or 'bulky' volumes that detract from pedestrian-scale should be avoided.
- Where buildings are setback less than 8' from the sidewalk, entrances shall be elevated a minimum of 18" inches above finished grade.
- Building elevations abutting side yards shall provide at least one horizontal plane break, and one vertical plane break.
- Buildings shall be composed on one and/or two story volumes.
- Attic space may be occupied and not count as a story when applying the height limits of the Zone.

Articulation

Height

- Building height shall be articulated with residential building elements including pitched roofs, gables, dormers, and deep eaves depending on overall architectural style.
- Brackets and other design features may be used to add visual interest where appropriate to the building style.

Length

- Hierarchy of window sizes should reflect the living spaces within. Projecting and insetting of building volumes as well as delineation of bays and varying roof lines should be employed to add visual interest.

Building Elements

- Porches, balconies, and terraces are encouraged to create private open spaces, variety of massing, and support residential character. Entrances can be identified with porticoes, vestibules, and prominent doorways.
- Windows and doors should be designed and located to avoid privacy conflicts with neighboring dwellings and buildings.

Access & Parking

- Primary entry to the home shall be located on the front or side façade of the building.
- Access to carriage houses should be accommodated from a rear alley where possible.
- Parking should be accommodated in a garage located at the rear of the property and accessed from rear alleys or side streets where possible.
- Where a side street or alley is not present, garages may be accessed by a driveway.

Frontage Types

- Porches are strongly recommended to announce the primary entrance and to enhance the pedestrian environment along neighborhood streets.
- Frontyards are permitted to enhance the transition between sidewalk and the building façade, and can be accentuated with a low wall or decorative fence. Yards should appear welcoming and maintain a high level of transparency to adjacent streets and properties.
- Front doors should be prominent and may be enhanced with a vestibule or portico.

Common Architectural Styles

Victorian
Colonial revival
Craftsman
Mediterranean
Art Deco
Modern

Single-family home with porch and stoop. Natural colors and materials enhance this California bungalow.

Victorian houses with stoops and porches are common to Alameda's historic neighborhoods.

Modern single family home with barrel vault roof, unique windows, and second floor terraces.

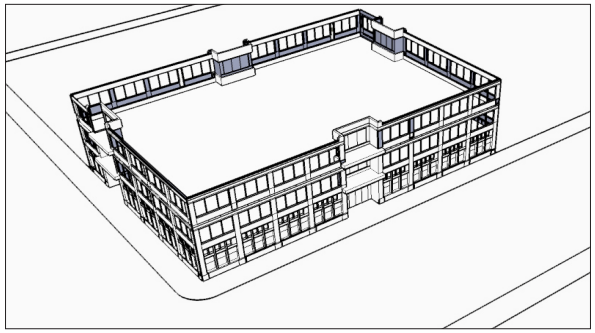
Front loaded single family homes with porch and stoop in modern style.

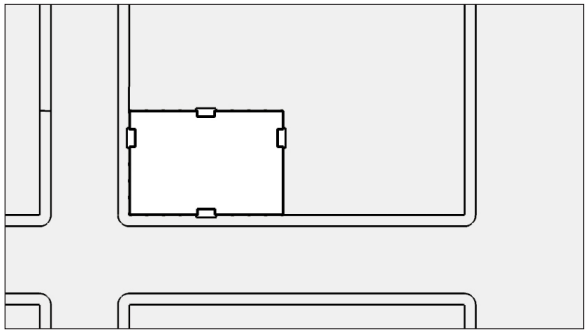
Queen Anne cottages with stoops are located along residential streets in the Park Street Districts.

Carriage house located on rear of property with dwelling unit above garage.

2.7.I Parking Structure

Parking structures should provide parking supply for multiple users. Auto entries and exits should be located to minimize disturbance to pedestrians. Ground floor storefronts are required on parking structures in the Park Street General.





Standards & Guidelines

Massing & Composition

- A single distinctive volume with horizontally accentuated facades interrupted by vertical volumes.
- Openings should be vertically proportioned. Uninterrupted horizontal opening should be avoided.
- Corner stair towers and accentuated corner volumes can be used to provide visual interest.
- All facades visible from the public realm shall be designed with a high degree of architectural detail.

Articulation

Height

- Buildings should have a distinctive ground floor treatment that complements the massing and articulation of adjacent buildings.
- Special design of roof forms should be considered to create an interesting 'skyline'. Parapet walls and guard railings should be considered if appropriate to the style.
- Shade elements, cornices, trellises and grille-work should be incorporated to add visual interest.
- As viewed from the public realm, parking decks shall not appear to ramp or jog at an inconsistent rate. Exterior wall design shall have horizontal elements to 'mask' ramping floor decks.
- Base treatments shall project a min. of 1" from the wall surface and may include a change in color, or change in material, and should extend around all sides of the building.
- Buildings may be articulated with horizontal courses to help delineate overall building height.
- Roof treatment should include a parapet wall to block visibility of cars on the roof deck from adjacent public areas. A cornice or other treatment may be used for added detail.
- Vertical elements such as pilasters or towers may extend beyond the roof line, but shall not exceed 60' in height.

Length

- Storefronts (where permitted or required) are an excellent means of articulating the ground floor.
- Building length should be well articulated using vertical facade elements appropriate to the building's style.
- Corner treatment using unique roofs or volumes is encouraged to add visual interest.
- Building length should be articulated using facade bays, pilasters, notches, roof forms or other articulation at a maximum of 30' increments.

Building Elements

- Interior lights shall be recessed into ceilings, walls, columns, and other building elements, or shall include cut-off fixtures. Interior luminaires should not be visible from adjacent sidewalks.
- Roof deck lighting shall be pedestrian scale. Utilitarian or 'cobra-head' lights shall be avoided.
- Ornamental wall-mounted outdoor lighting (sconces) should be used to accent entries.
- Additional lighting of columns and other architectural features is encouraged.
- Ground floor facade openings should employ grille-work, trellises, or other decorative elements to mask interior spaces from public view.

Access and Entries

- Pedestrian entrances should be highly visible, and treated with architectural elements such as decorative lighting and materials.
- Pedestrian entrances should incorporate awnings or canopies to provide shelter from weather and sun.
- Vehicular entrances should be accentuated with attractive materials, grillework, lighting, and other decorative elements.

- Exterior driveway surfaces shall be treated with attractive non-slip materials such as unit pavers or colored and scored concrete and shall be visually distinguishable from adjacent sidewalks to enhance pedestrian safety.
- All parking structures shall incorporate dedicated bicycle parking areas adjacent to pedestrian entrances.

Stormwater Management

The top floor or 'roof deck' of a parking structure is essentially an elevated parking lot. Stormwater management should be an integral component of building design:

- Integrate rainwater collection facilities such as cisterns or tanks within the building structure to collect and filter stormwater prior to releasing into the CIty's infrastructure.
- Greenwalls may be used utilize stormwater and to enhance visual interest.
- Downspouts should be connected to flow-through stormwater infiltration planters where possible.
- Interior drain to connect to sewer system

Frontage Types

- Formal entries shall be used for all pedestrian entries not incorporated into distinguishable architectural volumes.
- An arcade or gallery may be used to create a uniquely pedestrian-friendly environment.

Common Architectural Styles

- Neoclassical
- Early 20th Century Commercial
- Mediterranean
- Art Deco
- Streamlined Moderne
- Modern

Parking structure with ground floor storefronts. Second story opening are vertically-proportioned and include decorative grille-work and shade devices. A combination of brick and stucco accentuates building articulation and creates an attractive setting in a downtown environment.

A marquee sign announces entry to Alameda's downtown parking structure.

The auto entrance to this structure is nondescript, and demarcated with a "P" above the entry. The pedestrian entrance is treated with a formal entry and awning.

A retail anchor with prominent corner entry occupy the ground floor of this parking structure.

Brick base treatment in combination with glass and steel articulation enhance this parking structure's compatibility with adjacent building fabric.

2.8 FRONTAGE TYPES

Purpose and Intent
This section defines the frontage types that are permitted in the Plan Area. Each permitted frontage type is illustrated and described below. All new development shall comply with applicable requirements regarding accessibility.

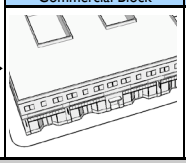
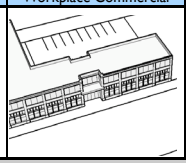
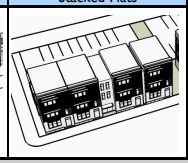
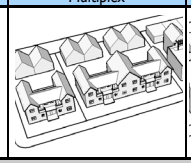
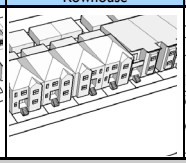
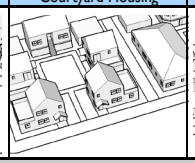
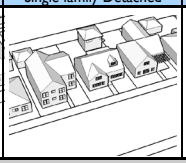
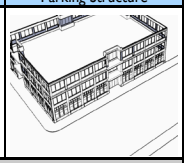
Applicability
At least one frontage type is required for each new building proposed in the Plan Area. Frontage types are controlled by *both* District Zone *and* Building Type. Permitted frontage types are listed in the Regulations Summary Chart according to District Zone, and in the Frontage Types Chart (below) according to Building Type. For each proposed building, applicants must select at least one frontage type that is permitted in their District Zone, and is permitted with their building type.

Overview
Frontage is defined as the area extending from a building facade to the public right-of-way or back of sidewalk line. Within the Park Street Districts, a range of frontage types is permitted to ensure that buildings orient towards the primary street, and create clear and identifiable entries. Well designed frontage conditions are a key component of creating attractive and pedestrian-friendly environments.

Contents
For each frontage type, a brief description is followed by standards and guidelines to direct frontage composition. See Architectural Style Guidelines for additional information to guide the design of building entries in accordance with building style.

1. Storefront
2. Arcade
3. Formal Entry
4. Forecourt
5. Stoop
6. Frontyard

FRONTAGE TYPES CHART

Building Types	Commercial Block	Workplace Commercial	Live-Work	Stacked Flats	Multiplex	Rowhouse	Courtyard Housing	Single family Detached	Parking Structure
									
Frontage Types as Permitted by Building Type									
Storefront	required	permitted	permitted	---	---	---	---	---	permitted
Arcade	permitted	permitted	permitted	permitted	permitted	---	permitted	---	permitted
Formal Entry	permitted	permitted	permitted	permitted	permitted	---	permitted	permitted	permitted
Forecourt	permitted	permitted	permitted	permitted	permitted	---	permitted	---	---
Stoop	---	---	permitted	permitted	permitted	permitted	permitted	permitted	---
Frontyard	---	---	permitted	permitted	permitted	permitted	permitted	permitted	---

Storefront elements should include a bulkhead, display windows, recessed entry, transom windows, and awnings or overhangs.

Bulkhead omitted on Deco building in favor of enlarged display windows, minimal base treatment, and recessed entry.

Bulkhead, display windows, translom windows, and blade sign.

Storefront is recessed at corner to create opportunity for outdoor dining.

2.8.A Storefront

Storefronts are designed specifically for retail uses. Storefronts shall be designed in harmony with overall building architectural style. See Architectural Style Guidelines for specific treatments.

Standards

1. The storefront entrance shall be accessed directly from the public sidewalk or court.
2. Entrances may be recessed in a vestibule no more than 5 feet deep.
3. Vestibules shall be designed and paved with high quality materials in accordance with Architectural Style and shall be distinguished from the sidewalk.
4. A minimum of 50% of the storefront facade shall be comprised of display windows having clear glazing. Opaque or reflective glazing is not permitted.
5. Awnings or architectural projections shall be located above all non-recessed doors and shall maintain 8 feet of vertical clearance from the sidewalk, and 7 feet from unframed valances.
6. Awnings shall not obstruct transom windows.
7. Bulkheads shall be 18 inches minimum height. If bulkheads are omitted on Deco, Streamline Moderne, or Modern building styles, a base condition of no less than 4 inches shall support display windows.
8. Historic storefronts shall be retained and repaired where possible in accordance with techniques for renovation and rehabilitation.
9. Portions of the storefront may be setback a maximum of 15 feet to create opportunities for outdoor seating and display of goods. Setback areas must be hardscaped and should receive a decorative paving treatment.

Guidelines

1. Typical storefront design elements should include a bulkhead or window base, display windows, recessed entry, transom windows, frieze or sign band, and awnings or overhangs.
2. Bulkheads and window sills should be designed using similar or complementary materials.
3. Transom windows should be operable to enhance air circulation.
4. Awnings are strongly encouraged to provide shade and shelter. Awnings should be designed to span individual storefront bays, and should not span across building walls or pilasters. Awnings should consist of non-glossy materials including fabric, metal-framed glass and sheet-metal and be designed to complement architectural style.
5. Decorative lighting of storefronts and signage is strongly encouraged.

Arcade with terrace above.

Formal entries to commercial block and workplace commercial buildings provide access to upper floor uses.

Formal entry to lobby of multiplex building

Raised formal entry with portico on live-work units.

2.8.B Arcade

Arcades are first floor colonnades that are covered by upper stories. This frontage type is well-suited for retail or commercial uses located on the ground floor, or may be used to create shaded pedestrian environments along commercial or residential building.

Standards

1. Minimum depth of arcade shall be 8 feet.
2. Minimum space between columns shall be 6 feet.
3. The colonnade shall be designed to correspond to building architecture.

Guidelines

1. Arcades should be designed to feel welcoming to pedestrians. Low walls or other obstructions should be avoided.
2. Plant materials can enhance and soften an arcade and create an attractive haven for pedestrians.

2.8.C Formal Entry

Formal entries may define the primary pedestrian entrance to a workplace commercial building or a lobby of a residential or mixed use building. They may also be used for entry to stairs leading to upper floor uses in multi-story buildings. Formal entries shall be prominent and easy to identify from the sidewalk. Entries shall have roof overhangs to provide shelter and to further distinguish the entrance. A portico, consisting of a roofed entrance supported by columns is a strongly recommended treatment for formal entries to add grandeur to civic and cultural buildings.

Standards

1. Where formal entries are elevated above finished grade, stairs having decorative sidewalls and/or handrails shall be provided.
2. Entry roofs shall project from the building facade a minimum of 2 feet to provide adequate shelter.
3. Entries shall be designed in accordance with overall building architecture style.
4. Formal entries may be recessed into the building facade to provide shelter and accentuate building articulation.
5. Formal entries shall be well-lit. Sconce lighting or other decorative lighting that frames the entry is strongly recommended.

Guidelines

1. Formal entries should be treated with significant architectural expression.
2. A grand stairway leading to a portico is a recommended treatment for large buildings.
3. Entrances may be inset slightly from the primary building wall and are typically raised above finished grade.
4. Formal entry doors should contain windows to enhance pedestrian comfort.
5. Double-doors may be used to create prominent entries.

Forecourt serves as shared garden and patio for residents of this villa.

2.8.D Forecourt

A recessed area where a portion of the primary building facade is significantly setback from the public sidewalk and enclosed by building volumes on adjacent sides. For residential development, the forecourt is ideally suited for shared gardens and plazas. For commercial and live-work development types, the space may be used for outdoor dining or display of goods.

Standards

1. The side of the forecourt that opens to the public sidewalk shall be a minimum of 15 feet wide and a maximum of 40 feet wide.
2. The forecourt shall not exceed 30 feet in depth.

Guidelines

1. Forecourts may be raised above the sidewalk and retained with a decorative wall or plant materials.
2. Fountains and other water features make an excellent amenity in a forecourt.

Stoop and recessed alcoves provide entry to multiplex.

Rowhouses with stoops and porches enhance residential character.

Shared stoop and porch on a multiplex building having four dwelling units.

Stoop and handrail designed in harmony with building architecture.

2.8.E Stoop

Stoops are entry stairs located close to the back of sidewalk and leading to one or more entries to residential uses. Stoops may encroach into the front setback area. Stoops are well-suited for residential buildings located throughout the Park Street Districts as they contribute to 'eyes on the street' and support a safe and community-oriented public realm. Stoops may be used in combination with storefronts on live-work buildings to provide a distinct entrance to upper story dwelling units.

Standards

1. Stair treads shall be no less than 4 feet wide.
2. Stoops shall comprise no fewer than 2 stairs.
3. Stairs shall be enclosed on both sides by a decorative stairwall and/or handrail.
4. A landing or recessed alcove of no less than 4 feet in depth shall be located at the top of the stairs
5. Stairs and handrails shall be constructed of high-quality durable materials.
6. A portico roof that overhangs the landing is required to provide shelter where no alcove is present.

Guidelines

1. Where stairs approach the sidewalk grade, widening or 'flaring' of lower stairs is encouraged to create a welcoming condition.
2. Materials and colors for stoops should be selected to complement building design.
3. Where concrete is used, staining, coloring, or inlaying of tile or stone is recommended to enhance overall design.

Multiplex buildings having front yard with decorative fence.

Single-family homes with terraced front yard retained by decorative wall.

Multiplex building with terraced frontyard retained by decorative wall.

Multiplex with flush yard and wrap-around porch.

2.8.F Frontyard

Frontyards are common to residential development where the primary building facade is setback from the right-of-way line.

Porches are ideal companions to front yards and may be enclosed within the primary building or may be appended to the front or side facade. Porches and stairs may encroach into the front or side setback area in accordance with Alameda Municipal Code section 30-5.7.

Standards

1. Where no porch is present, a front door shall be elevated above finished grade by no less than 18 inches and accented with a portico or other architectural overhang, or recessed into an alcove.
2. Porches shall be designed in accordance with architectural design standards and style guidelines.
3. Porches shall be a minimum of 6 feet in depth and 8 feet wide.
4. Stairs leading to front doors shall have sidewalls and/or decorative handrails.

Guidelines

1. Front yards and porches may serve multiple entries and dwellings.
2. A low wall or decorative fence may be located at the back-of-sidewalk to create a decorative edge and enhance the visual transition between public and private spaces. A raised or 'terraced' front yard can be employed to further distinguish this transition.
3. Porches may wrap around building corners and may provide access to side yards.

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2.9 THE WATERFRONT DISTRICT

Purpose and Intent
This section contains special urban design regulations to guide infill and redevelopment within the Waterfront District Zone.

The Waterfront District

Applicability

The Waterfront District is delineated on the North of Lincoln Regulating Plan. It includes all parcels north of Blanding Avenue between Oak Street and Tilden Way. Development on parcels within the Watefront District Zone shall be in accordance with District Zone Regulations for the Waterfront District as shown in the Regulations Summary Chart and all District-Wide Regulations. Additional Special Conditions applicable to development of the Waterfront District are described herein.

Objectives

The following Objectives are provided to guide new investment in support of the community's vision for pedestrian-friendly site development and attractive outdoor spaces in the Waterfront District.

Urban Form:

1. Establish a network of streets, blocks, and open spaces that enhance walkability and increase access to the estuary.
2. Create strong physical and visual connections between the estuary and adjacent streets and public rights-of-way.
3. Activate the estuary edge by locating uses such as restaurants, hotels, open spaces and residences adjacent to the waterfront.
4. Encourage architectural designs that complement Alameda's historic architectural styles.
5. Locate parking where it is supportive of pedestrian-friendly site development. Encourage shared parking among district users.
6. Establish a continuous waterfront promenade along the estuary.

Land Use:

1. Enable a desirable mix of land uses to attract residents, visitors and employees to the District.
2. Enable commercial development that creates a regional draw to increase Alameda's overall appeal and customer base.
3. Encourage commercial uses that do not directly compete with the historic Downtown for tenants and customers.
4. Encourage new residences, live-work buildings, and lodging where they are in close proximity to the estuary.

2.9.1 Site Development Standards and Guidelines

Approach

Future development in the Waterfront District is likely to occur incrementally and over time. The following site development standards and guidelines are provided to ensure that new buildings and open spaces contribute to an attractive and pedestrian-oriented neighborhood district.

Standards

1. The Waterfront District shall be comprised of streets, blocks, and open spaces primarily organized parallel with and perpendicular to Blanding Avenue and the Estuary.
2. A publicly accessible pedestrian promenade along the estuary (Promenade) shall be incorporated into all new development having estuary frontage.
3. Building Placement & Frontage Coverage:
   Buildings in the Waterfront District are permitted to front onto Blanding Avenue, Everett Street, Oak Street, and new Neighborhood Streets, or may front onto open spaces including plazas, paseos, or a Promenade. Buildings should not front directly onto parking lots.
   a. For Blanding Avenue, Everett Street, and Oak Street, front setback shall be 10'-30' and Frontage Coverage shall be 70%.
   b. For development fronting onto the Promenade, minimum and maximum front setback is organized according to land use category as follows:
      - Residential 15'-30'
      - Main Street Retail, General Commercial, Destination Retail, & Workplace 0'-30'
   c. There is no minimum frontage coverage requirement.
   d. Parking areas shall be setback a minimum of 10 feet from the Promenade.
   e. For new Neighborhood Streets, plazas, and open spaces, front setback shall be 10' - 20'. Storefronts located on new Neighborhood Streets shall be permitted to encroach into the setback area to the back-of-sidewalk. Frontage coverage requirement for new Neighborhood Streets in the Waterfront District is 70%.

Guidelines

1. Streets
   a. Everett Street should have a clear and direct automobile and pedestrian connection between Blanding Avenue and the estuary.
   b. Oak Street should have a clear pedestrian connection between Blanding Avenue and the estuary.
   c. New streets shall be designed to enhance neighborhood character, support walkability, and increase pedestrian safety.
2. Alleys should be used to provide access to parking, and services at the rear of buildings.

View of marina near Park Street Landing

Everett Street north of Blanding Avenue.

Pedestrian promenade adjacent to the estuary.

2.9.2 Waterfront District Streets

Applicability

The following standards and guidelines for new streets shall be employed by applicants constructing new streets in the Waterfront District to satisfy frontage requirements. If an applicant wishes to propose modifications to the street designs, they must demonstrate their design's ability to enhance the pedestrian character of the streescape environment. All proposed modifications must be approved.

Neighborhood Streets

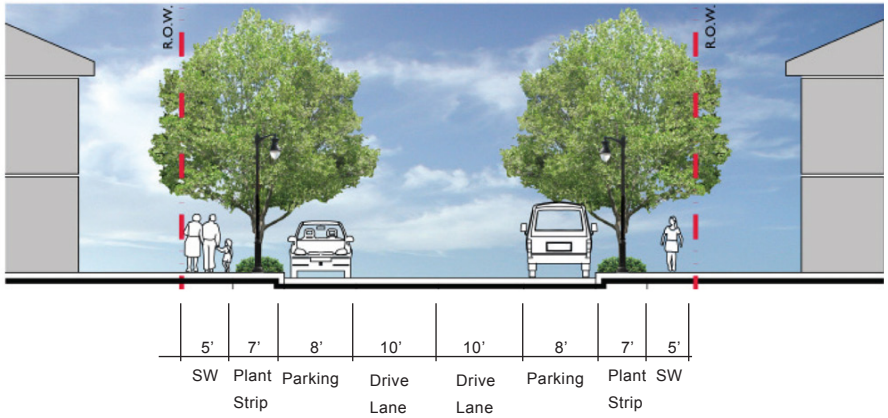
Neighborhood Streets in the Waterfront District should contain two travel lanes and on-street parking to support a range of uses and pedestrian activity.

Standards

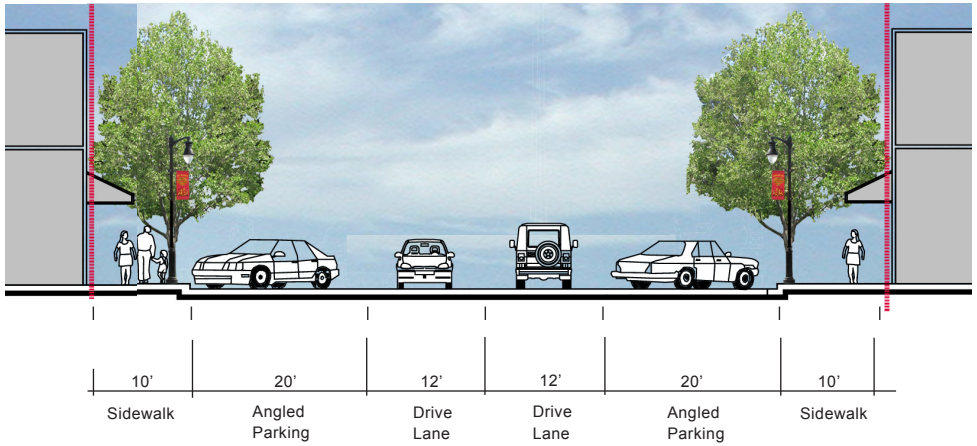
1. Sidewalks shall be constructed of integrally-colored and scored concrete or unit pavers and shall be a minimum of 5' wide for residential frontage and 10' wide for commercial or mixed-use frontage.
2. New streets shall intersect at right-angles where possible. Turning radii shall be minimized to reduce vehicle speeds and auto-oriented character.
3. Street trees shall be planted at 30' on-center maximum spacing.
4. Travel lanes shall be a maximum of 12' wide.
5. Alleys shall be 22' wide maximum, and shall contain decorative lighting.

Guidelines

1. Bulb-outs may be used to reduce crossing distances at intersections.
2. Street trees should be planted within a planting strip (for residential frontage) or at the back-of-curb within flush mounted tree grates (for commercial frontage). Trees may also be planted in tree grates within the parking lane (between on-street parking stalls) to reduce heat glare.
3. Benches, bicycle racks, and decorative plant materials are encouraged.
4. Decorative street lights shall be located along all streets in accordance with District-Wide standards and guidelines for lighting. The design of street poles and luminaires should complement adjacent architecture, and may embrace nautical elements and details.



New Neighborhood Street Guidelines - Residential Frontage



New Neighborhood Street Guidelines - Mixed-use / retail frontage

Waterfront Access Streets

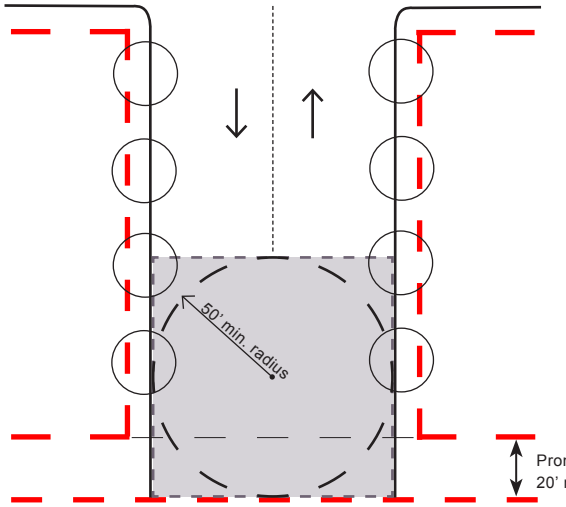
North of Blanding Avenue, streets should be extended toward the estuary where feasible to enhance public access to the water's edge. To minimize the impacts on adjacent private land, a flush multi-use plaza condition may be employed to enable automobile turnaround.

Guidelines

1. See adjacent diagrams for recommended dimensions.
2. Two travel lanes should have on-street angled parking on the east side and parallel parking on the west side.
3. Trees shall be planted 3 feet from the back-of-curb no more than 30 feet on-center.
4. At the terminus adjacent to the estuary, the streetscape should include a multi-use plaza (See adjacent diagram for details)
5. The plaza should maintain an unobstructed area having a 50 foot radius for vehicle turnaround.
6. The plaza area should be flush with adjacent sidewalks and should be paved in a uniform manner using concrete unit pavers or concrete with a decorative color and scoring pattern.
7. Trees should be planted in tree wells or in flush-mounted grates.
8. Trees should be fast-growing and deciduous to achieve a high canopy and be maintained to provide shade while not obstructing views to the estuary.
9. Up-lighting of street trees within the plaza is encouraged to increase motorist and pedestrian safety.
10. The multi-use plaza should be designed as a highly-ammenitized public space using decorative paving, lights, and plant materials. High-quality planter boxes, decorative bollards, or other attractive vertical elements may be used to separate automobile areas from adjacent pedestrian areas but shall not obstruct emergency

7.5'	7'	10'	10'	7'	7.5'
SW	Parallel Parking	Travel Lane	Travel Lane	Parallel Parking	SW

50' R.O.W.



Not drawn to scale

2.9.3 Pedestrian Promenade

New public and private development throughout the Waterfront District should incorporate a pedestrian promenade to increase pedestrian access to the water's edge. The following guidelines are provided to guide promenade development.

Guidelines

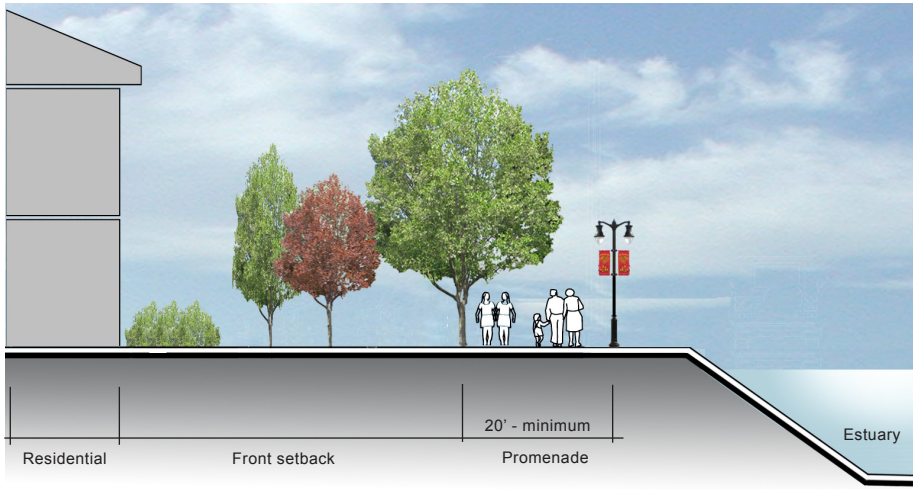
1. Minimum promenade width should be 20'.
2. The promenade should be accessible from adjacent public rights-of-way including sidewalks along Everett and Oak Streets.
3. The promenade should connect to nearby open spaces and to promenade segments on adjacent parcels.
4. Paving should consist of high quality decorative materials including scored and colored concrete, bricks, or concrete unit-pavers.
5. Pedestrian-scale decorate lighting should be incorporated to enhance safety and increase overall attractiveness to residents and visitors.
6. Seating should be incorporated along the promenade using free-standing benches or custom seats integrated into wall elements.
7. Site furnishings that support pedestrian comfort such as water fountains and bicycle racks are encouraged.
8. Fast growing deciduous trees should be located along the pedestrian promenade at a maximum spacing of 40 feet on-center.

Promenade adjacent to live-work buildings. Pedestrian-scale lights and palms create a dramatic edge to this mixed-use waterfront.

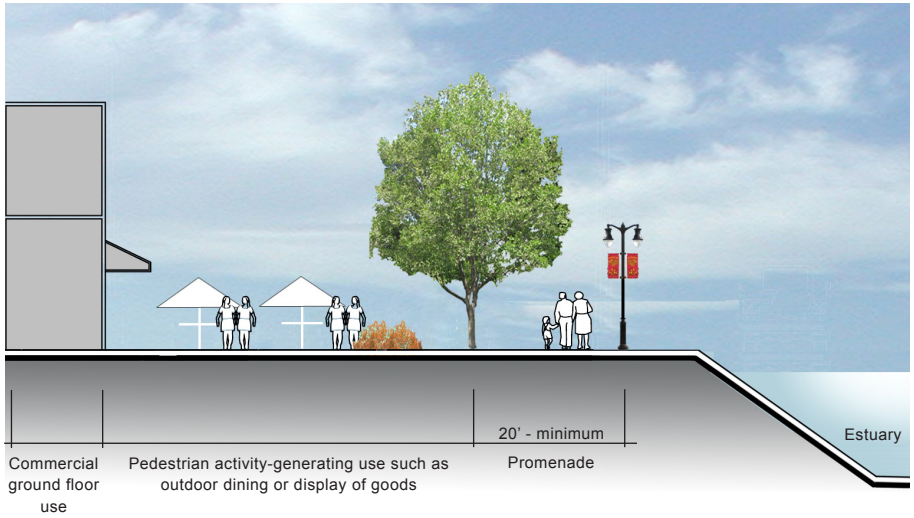
Decorative street lights, benches, and railing are designed in harmony.

Neighborhood street is shared among pedestrians and autos adjacent to the promenade.

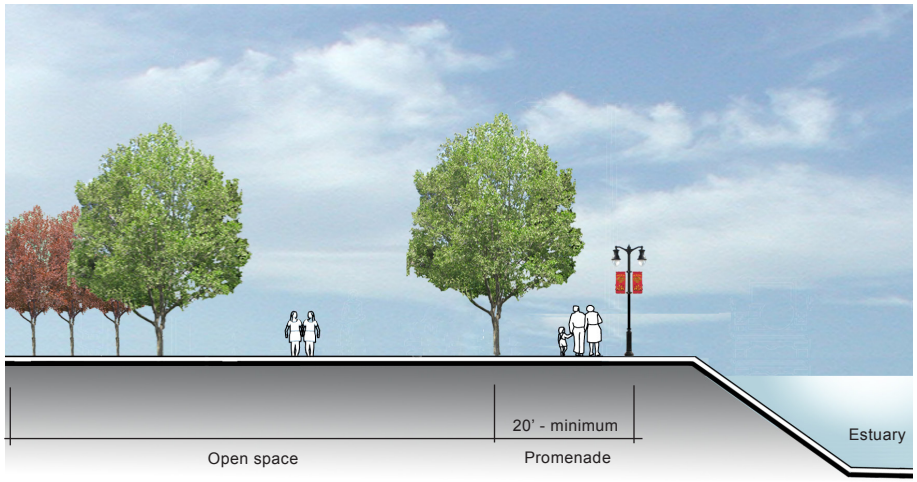
Commercial uses front onto a pedestrian promenade. A gangway provides access to an adjacent marina.



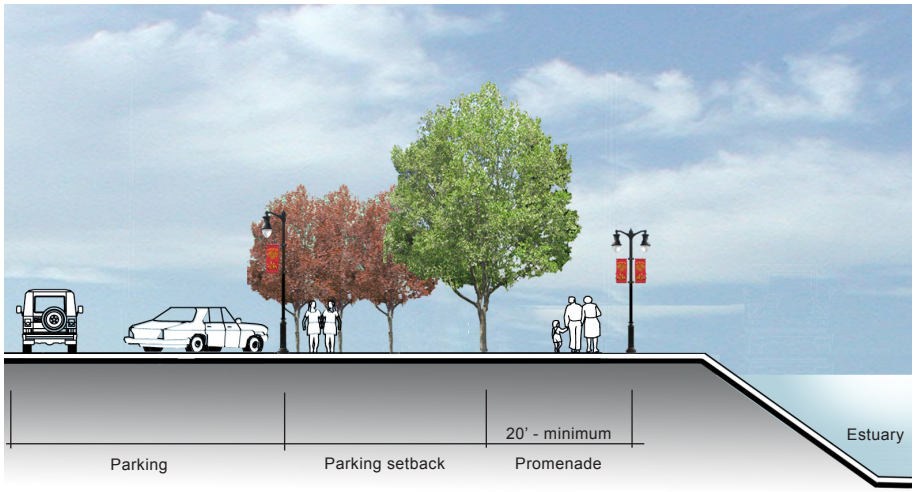
Promenade concept - Residential frontage



Promenade concept - Commercial frontage



Promenade concept - Open space frontage



Promenade concept - Parking frontage

2.9.4 Waterfront District Architecture

In general, new building architecture in the Waterfront District shall be in accordance with all District Zone Regulations and District-Wide Regulations. New buildings are encouraged to embrace elements of contemporary waterfront architecture and to establish an architectural presence that celebrates the Waterfront District's proximity to the estuary,

Guidelines

1. Building materials may include wood siding.
2. Primary colors may include light hues of blue, grey, white, cream, slate, and tan. Trim colors should be white, or pale hues of beige, tan, grey or blue.
3. Roofs may be gabled and may contain dormers and hips.
4. A cupola or tower volume may have faceted walls forming a hexagon or octagon.
5. Towers may contain small 'look-out' windows and may have a pyramidal or domed roof.
6. Ground floor windows should be large and utilize light colored mullions between clear glass panes. Upper story windows should be multi-paned.

3. DISTRICT-WIDE
REGULATIONS

3.1 Parking
3.2 Landscape and Open Space
3.3 Fuel Stations
3.4 Architecture Design Standards
3.5 Architecture Style Guidelines
3.6 Guidelines for Rehabilitation and Restoration

3.1 PARKING

Purpose and Intent

This section contains standards and guidelines to guide the development of parking supply throughout the Park Street District Zones. Regulations ensure that parking is convenient and accessible, accommodates all land uses, and supports a pedestrian-friendly environment.

3.1.1 Overview

Off street parking shall be provided in accordance with provisions and requirements of Section 30-7 Off Street Parking and Location of the Alameda Municipal Code with the exception that 30-7.6 shall be superseded by Section 3.1.2 below.

Park Once

Parking regulations are intended to support overall 'walkability'. Residents and visitors should be encouraged to park their vehicle and to explore the Park Street Districts on-foot. Businesses that choose to locate in the Park Street Districts do so to be part of one of the City's most walkable neighborhoods. These businesses are most successful within an environment that is friendly to pedestrians. The City will encourage and require when appropriate shared parking agreements among multiple users and adjacent properties.

3.1.2 Schedule of Required Minimum and Maximum Spaces

District Zones	Park Street General	Workplace Neighborhood	Mixed-Use Neighborhood	Residential Neighborhood	Waterfront
Land Use Categories					
Main Street Retail (min / max per 1000 sq.ft.)	2 spaces / 4 spaces	NA	NA	NA	2 spaces / 5 spaces
General Commercial (min / max per 1000 sq.ft.)	2 spaces / 5 spaces	3 spaces / 6 spaces	NA	NA	2 spaces / 5 spaces
Destination Retail (min / max per 1000 sq.ft.)	3 spaces / 6 spaces	NA	NA	NA	3 spaces / 6 spaces
Service Commercial / Manufacturing (min / max per 1000 sq.ft)	NA	2 spaces / 5 spaces	NA	NA	2 spaces / 5 spaces
Workplace (min / max per 1000 sq. ft.)	2 spaces / 4 spaces	2.5 spaces / 6 spaces	1 spaces / 3 spaces	NA	2 spaces / 5 spaces
Work-Live (min / max spaces per unit)	1 space / 2 spaces	1 space / 3 spaces	1 space / 2 spaces	NA	1 space / 3 spaces
Residential*					
Studio / 1 bedroom (min / max spaces per unit)	1 space / 2 spaces	1 space / 2 spaces	1 space / 2 spaces	1 space / 2 spaces	1 space / 2 spaces
2 plus bedrooms (min / max spaces per unit)	1 space / 3 spaces	1 space / 3 spaces	1 space / 3 spaces	1 space / 3 spaces	1 space / 3 spaces
Lodging (min / max spaces per lodging unit)	1 space / 2 spaces	1 space / 2 spaces	1 space / 1.5 spaces	1 space / 1.5 spaces	1 space / 2 spaces
Civic & Cultural (min / max per 1000 sq. ft.)	2 spaces / 6 spaces	2 spaces / 6 spaces	2 spaces / 4 spaces	NA	2 spaces / 6 spaces

1. Minimum and maximum parking requirements apply only to surface lots.
2. There is no maximum for structured or underground parking supply.
3. Residential developments are permitted to add 1 guest space per 4 units in addition to maximum provision.
4. Lodging uses are permitted additional parking spaces dedicated to operators.

3.1.3 Shared Use

Private parking spaces are encouraged to be shared by more than one user. Shared Parking is defined as the practice whereby two or more independent operators enter into an agreement to use the same parking spaces, and count them towards satisfying their requirements. Parking spaces may be shared in accordance with the Alameda Municipal Code Section 30-7.7

3.1.4 Parking Requirement Adjustments

The Planning Board may reduce the number of required off-street parking spaces, if the applicant can demonstrate that parking demand will be reduced for the life of the project. Requests for parking reductions shall be in conformance with the Alameda Municipal Code Section 30-7.13 Reductions in Parking Requirements or Section 30-7.19 Adjustments for Senior and Affordable Housing Projects.

3.1.5 Curb Cuts and Driveways

1. No more than one curb cut per lot shall be allowed, except for fuel stations where access shall be limited to a maximum of two curb cuts, unless otherwise approved by the Planning and Building and Public Works Directors. Fuel station access points may be directionalized (i.e. one way, no left turn etc.) at the discretion of the Public Works Director. Existing fuel stations shall be brought into compliance whenever modifications requiring a permit are approved.
2. New curb cuts for automobile access to new, expanded, or existing off-street parking lots are prohibited on Park Street. Existing curb cuts may be relocated, or access may be provided from a side street, provided that the property does not already include one curb cut on the side street or has sufficient frontage on the side street to safely accommodate the additional curb cut, as determined by the Public Works Director. If access cannot be provided from an existing, relocated, or side street curb cut, then the project applicant may request a waiver of this requirement or reduction in parking requirements in accordance with subsection 30-7.7, or 30-7.13 of the Alameda Municipal Code.
3. Whenever possible, driveways for adjacent developments should be combined or designed to allow for future joint access and shared parking agreements.
4. In the Mixed-Use Neighborhood and Residential Neighborhood District Zones, driveways that connect to the primary (fronting) street should be constructed with two paved wheel-ways separated by a porous material such as decorative pavers or ground cover.

3.1.5 Bicycle and Pedestrian Facilities

1. One secure bicycle racks shall be provided for every ten auto parking spaces wherever parking is required.
2. Pedestrian walkways which cross nonresidential parking or driveway areas shall be clearly marked through the use of enhanced paving materials such as brick, or concrete pavers.

3.2 LANDSCAPE AND OPEN SPACE

Purpose and Intent
This section contains standards and guidelines to guide the development of landscapes and open spaces throughout the Plan Area. Outdoor spaces in the Park Street Districts shall be welcoming, attractive, and supportive of the community's desire for walkable neighborhood character.

Applicability
The standards and guidelines herein are applicable to all District Zones. Landscape and Open space standards establish the minimum requirements and guidance to ensure that open spaces support the community's desire for walkable and attractive neighborhoods.

Stormwater management
All new development throughout the Park Street Districts should employ best practices to manage stormwater. Standards and guidelines for specific areas of landscape and open spaces are included in subsequent sections. In addition to countywide requirements, a comprehensive stormwater management plan for all new development shall address on-site collection and treatment of stormwater from buildings, hardscape, and landscape areas.

Contents
1. Parking Areas
2. Open Space Provisions
3. Setback Areas
4. Plant Materials
5. Fences, Walls, and Screening
6. Lighting

3.2.1 Parking Areas

Standards
1. Parking lots shall be setback 4 feet minimum from public rights-of-way and 8 feet from the Waterfront District Promenade.
2. Parking lots shall include clearly defined pedestrian pathways no less than 4 feet wide along at least one edge of the parking field.
3. Permeable paving materials shall be used where possible to reduce stormwater run-off. Recommended paving materials include open-joint concrete unit pavers, porous asphalt, 'grass-crete', and similar structural grids specifically designed for automobile parking.
4. Paving materials shall be light in color to reduce overall heat glare. Stormwater shall be collected on-site using flow-through stormwater infiltration planters (with curb inlets) along the perimeter of parking areas. Planters shall be designed to maximize detention, infiltration and on-site treatment of stormwater from adjacent paved areas. Sub-drains may be used to store, filter, and convey water to infiltration planters or similar on-site filtration areas, subject to ACCWP.
5. Setback areas shall be planted with fast-growing deciduous trees at 24 feet on center maximum spacing. Trees may be located in planting strips or in infiltration planters. Low lying ground cover is also appropriate but shall not obstruct visibility to and from the parking areas.
6. Trees in parking areas shall be planted in infiltration planters with curb inlets or in flush-mounted grates between parking stalls. Permanent irrigation shall be provided to all trees.
7. Parking lots shall be illuminated using pedestrian scale decorative lights along pathways and where pedestrians cross vehicular travel ways.

Guidelines
1. Setback areas and visibility requirements adjacent to public sidewalks should include a low decorative wall designed in accordance with building architecture.
2. Decorative planting including ground-covers and ornamental planting may be located in infiltration planters to assist with water filtration, uptake and detention.
3. There should be a minimum of 1 tree for every 6 parking spaces located internally and along the perimeter of the lot.

Parking lot with shade trees.

Pervious concrete pavers in alley can be used to decrease run-off.

Curbless bioswale water infiltration and detention system internal to parking lot.

3.2.2 Open Space

Standards

1. Provisions: Open space provisions must be met on-site
2. Required setback areas do not count towards required provision of open space.
3. Courtyards shall be rectangular and have a minimum dimension of 30 feet.
   a. Courtyards shall contain hardscape areas, outdoor seating, and plant materials.
   b. Courtyards shall be connected to the public right-of-way with attractive pathways.
4. Terraces and balconies shall be functional outdoor spaces and have a minimum dimension of 5 feet.

Guidelines

1. Courtyards and common yards serving multiple dwellings should have hardscape and landscape areas, and should provide outdoor seating.
2. Private yards should be rectangular and have a minimum dimension of 12 feet.
3. A water feature or fountain is an attractive centerpiece for a courtyard, plaza, or other outdoor area.
4. Private yards may be differentiated from common areas using low decorative fences and ornamental planting.
5. Terraces and balconies should have at least partial roof overhang and should be constructed of durable and attractive materials in accordance with architectural style.

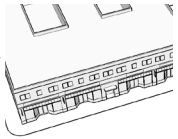
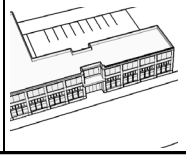
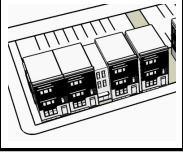
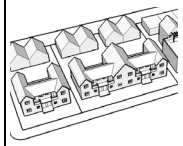
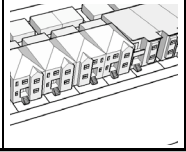
Balcony.

Tiled court.

Common yard.

Private yard.

OPEN SPACE PROVISIONS CHART

Building Types	Commercial Block	Workplace Commercial	Live-Work	Stacked Flats	Multiplex	Rowhouse	Courtyard Housing	Single family Detached	Parking Structure
									
Open Space									
Minimum Required	40 sq.ft. per dwelling unit	40 sq.ft. per dwelling unit	120 sq.ft. per dwelling unit	40 sq.ft. private space per dwelling unit	120 sq.ft. space per ground floor unit	240 sq.ft. per dwelling unit	Courtyard plus 40 sq.ft. each attached unit; 140 sq.ft. each detached unit	300 sq.ft. per house	---
Description	Loggia, terrace, balcomy, courtyard, roof garden	Loggia, terrace, balcomy, courtyard, roof garden	may be private or shared; private yard, common yard, courtyard, roof garden	Loggia, terrace, balcomy, private yard, courtyard, roof garden	permitted	private yard	Loggia, terrace, balcomy, private yard, roof garden	private yard	---

3.2.3 Setback Areas

Standards

1. No parking space may be located in any required front setback area.
2. Where storefronts are present, front, side, and sideyard setback areas shall be hardscaped and designed for pedestrian use including outdoor, dining, the display of goods, or similar uses.
3. Front setback areas in the Park Street General, Park Street Core, and Downtown General District Zones shall be composed of hardscaping, gardens, courts, and other landscape design that are welcoming and supportive of pedestrian activity.
4. In the Residential Neighborhood and Mixed Use Neighborhood District Zones, front, side street, and sideyard setback areas, and the space between buildings must be landscaped.
5. Side setbacks, side yard setbacks, and the space between buildings may contain paseos leading to building entrances and parking areas.
6. For Courtyard Housing building types, landscape treatment should not be used to separate one front setback area from another.
7. Small hardscaped courts and terraces are permitted in setback areas. Hardscaped courts shall utilize decorative paving materials such as concrete pavers, bricks or colored concrete in support of a pedestrian-friendly environment.
8. Side yard setback areas adjacent to single-family homes should enhance privacy.
9. Where new commercial or mixed-use development is adjacent to historic single family residences, setback areas shall include sufficient landscape buffering to protect and enhance existing residences.

Setback area is hardscaped to encourage pedestrian use.

Landscaped front setback area adjacent to multiplex.

Hardscaped setback area at base of live-work building.

3.2.4 Plant Materials

Standards

1. For single-family and multiplex building types, at least one large deciduous tree shall be planted in each front or rear yard for privacy.
2. Mature, existing trees shall be preserved where possible pursuant to the Master Tree Plan or an approved streetscape plan.
3. Plant materials should be drought tolerant and low maintenance. Plant selections should be made from the palette of the region in accordance with the City's Master Tree Plan.
4. Deciduous trees in the Park Street Core, Park Street General, and Downtown General shall be consistent with the Master Tree Plan, and selected to support pedestrian-friendly sidewalk conditions. Trees with excessive fruit droppings or shallow roots shall be avoided adjacent to sidewalks.
5. Trees shall be located on the southwest and west side of buildings where possible to maximize energy efficiency.

Guidelines

1. Root zones should contain high-quality soils and should be expanded beneath paved surfaces where appropriate to enhance tree growth.
2. Seasonal and year-round flowering shrubs and trees should be used where they can be most appreciated; adjacent to pathways and sidewalks, and positioned where they frame and accent unique building features and entries.
3. Evergreen shrubs may be used for screening along rear property lines and near trash and service areas.

Landscape buffer between residential and commercial use.

Trees should allow views to shops and signage.

Ornamental planting used to frame entry.

3.2.5 Fences, Walls and Screening

Standards

1. Where service commercial / manufacturing uses are adjacent to residential uses, service bays shall be screened from view from adjacent property using landscaping and/or a decorative fence.
2. All fences and walls shall be built with attractive, durable materials in accordance with building architectural style.
3. The solid portion of a fence or wall shall not exceed 3 feet; 'open' design areas such as lattice work, wrought iron, or grille work may extend the total fence height to 5 feet.
4. Barbed wire and chain link fencing is prohibited.
5. All fences and walls must conform to City visibility requirements.

Guidelines

1. Preferred materials for fences and walls include wood, masonry, stone, and other durable and natural materials.
2. Fence and wall designs should include a base treatment and cap treatment or may be include a series of piers and ornate grille work to articulate the fence or wall as a segments.
3. Where visible from public areas, low walls should incorporate decorative elements.
4. Use of security fences should be minimized, and limited to locations where additional safety is needed such as adjacent to marina uses and the estuary. Security fences, where needed, should incorporate decorative grille work or artistic elements to enhance their overall appeal.
5. Roll-down security doors require a conditional use permit.
6. Fences along the estuary should not obstruct views of the water.

Low masonry wall with decorative wrought iron grille work.

Masonry piers, caps, and ironwork.

Low wall and planting complement building architecture and define outdoor dining area.

3.2.6 Lighting

Standards

1. Lighting fixtures shall include cut-off and other 'dark-sky' technology to reduce light pollution.
2. Street lights shall consist of a decorative base, and luminaire, and shall be pedestrian-scale.
3. Streetlight light sources shall be between 11 and 16 feet in all District Zones.
4. All streetlights shall incorporate prismatic lenses, diffusers, or refractors to avoid glare.
5. LED and other energy efficient technologies shall be used for street lighting. The use of incandescent lighting is highly discouraged and requires approval by the Planning Board.
6. Area lights shall not throw light onto upper stories or onto residential buildings.
7. Pedestrian areas including sidewalks, pathways, parking areas and courts shall be illuminated to increase safety and provide clear views to and within the site.
8. Low pressure sodium vapor or other lights casting an orange glow are prohibited.

Guidelines

1. Commercial buildings should be illuminated using uplighting and decorative lighting. Lighting of building facades is strongly encouraged throughout the Park Street Core, Park Street General, and Downtown General Districts.
2. Bollard-mounted lights and in-ground lights are encouraged for pedestrian areas.

Buildings in the Downtown Core should be indirectly illuminated and illuminated from within.

Low level interior lighting adds visual interest.

Pedestrian-scale street lights support small town character.

3.3 FUEL STATION SITE DEVELOPMENT

This code calls for a departure from typical auto-oriented fuelling stations in favor of site development practices supportive of the community's vision for walkable streets and attractive neighborhood districts.

Applicability

The following standards and guidelines are applicable to all fuel stations proposed within the Plan Area. These regulations take precedent over all District Zone and District-Wide regulations.

3.3.1 Land Use and Site Development

Land Uses

- Fuel Stations are included as part of the Service Commercial / Manufacturing land use category.
- Permitted uses include fueling stations and ancillary retail, carwash, auto service, and related uses.

Building Placement

- Front setback (min - max): 0' - 10'
- Side Street Setback (min - max): 0' - 20'
- Side Yard Setback (min): 0', 15' adjacent to Mixed-Use Neighborhood
- Rear Setback (min): 0', 20' adjacent to Mixed-Use Neighborhood & Residential Neighborhood District Zones.
- Alley Setback (min): 5'
- Paseo / Courtyard Setback (min): NA
- Space Between Buildings (min): 8'
- Corner Treatment: Conform to City Visibility Requirement

Building Height

- Primary Buidling (min - max): 1 floor 16 feet - 2 floors, 24 feet
- Ancillary Building(s) (min - max) 1 floor 12 feet - 2 floors 24 feet

Building Length: 30 feet min. - 100' max length along primary street.

Frontage Coverage: NA

Building Types: NA

Frontage Types: Storefront, Arcade, Formal Entry

3.3.2 Site Composition

- Fuel stations shall include a primary building located near to the back-of-sidewalk where it supports pedestrian activity. The primary building may contain retail sales oriented to walk-in customers and fuel customers.
- Accessory buildings may contain car-wash and/or auto repair services.
- Fuel pumps shall be located internal to the site as depicted in the adjacent page
- Pedestrian entry to primary building may be from public sidewalk and/or interior lot.
- Site composition shall allow for on-site fuel truck circulation where only one curb cut is provided.

3.3.3 Building Massing & Composition

- Building facade along the primary street shall be no less than 30 feet in length.
- Architectural detail shall apply to all facades visible from public streets.

3.3.4 Building Articulation

Height

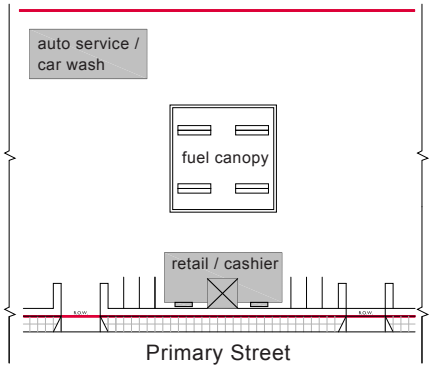
- The primary building should have a distinctive base and roof treatment.
- Vertically proportioned clerestory windows are recommended (especially in single-story buildings) to accentuate perceived building height.
- Base treatments should include a projected volume, change in color, or change in material. Roof treatment may include a cornice, parapet, cap, or distinctive eave to increase visual interest.

Length

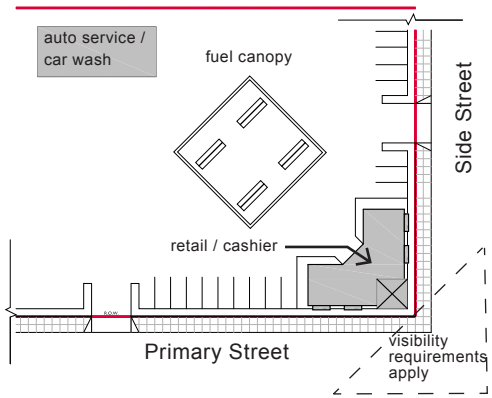
- Buildings should provide articulation adjacent to the primary entry, and should employ vertical elements such as columns and pilasters in accordance with the building's architectural style.
- Awnings are recommended to support of pedestrian comfort.

3.3.5 Frontage Types

- Storefronts shall be used on the primary building to provide access to ground floor retail tenants and/or cashier.



Mid-block location: Primary Building fronting onto primary street.



Corner location: Primary building located at the corner of primary street and secondary street.

Fuel pumps located behind multi-story commercial building.

Bird's eye view of fuel station building at corner location, fuel canopy located on lot interior.

Canopy designed in harmony with building architecture.

Decorative fence within landscape setback.

3.3.6 Landscape and Open Space

- Maximum width for one-way curb cut is 20 feet, for two-way is 36 feet.
- Parking stalls shall be set back a minimum of 4 feet from sidewalks or property lines.
- All Setback areas adjacent to the public sidewalk, not adjacent to the building, shall incorporate a low decorative wall not to exceed 4 feet in height. Walls shall be sited in accordance with visibility requirements. Walls should be constructed of durable materials including brick, stone, and precast concrete. Walls may be "solid" with and include a base and cap treatment, or may be organized as a series of piers connected with decorative metal railing.
- Fuel station parking areas should include infiltration planters to detain and filter stormwater.

Retail building located at back-of-sidewalk. Fuel pumps located within lot interior.

3.4 ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Purpose and Intent
This section contains architectural design standards and guidelines applicable to all buildings. The standards and guidelines are provided to ensure that new development and building renovations are consistent with the City's goals for building form, character, and quality

Introduction
The City of Alameda has an extraordinary stock of well preserved historic buildings. Walking down Park Street or any number of other streets in the Plan Area is like traveling back in time to an era when many traditional architectural styles flourished. The preservation of existing structures and the construction of new buildings that respect and draw from past examples are crucial to maintaining the City's unique character.

Objectives
The Architectural Design Standards and Guidelines contained in this section are provided to assist the City of Alameda and applicants in the following ways:

- Preserve and enhance historic building character.
- Ensure that new development is sensitive to the historic qualities of Alameda's architectural styles.
- Allow for design flexibility while maintaining key standards that encourage high quality renovations, restorations and new construction.
- Avoid generic "franchise-style" architecture that detracts from Alameda's unique character.
- Streamline the design review process by regulating new design in support of the community's vision.

Applicability
The following Standards and Guidelines shall be used in combination with Standards and Guidelines for Building Types and Frontage Types. Standards for all buildings must be met for new construction, additions and renovations. Green Building Design Guidelines are applicable to all buildings.

All projects are subject to architectural and site design review as established by the City. Other requirements noted by the Municipal Code, General Plan, Guide to Residential Design, as well as building code, life safety, and accessibility requirements not covered by the Standards and Guidelines shall apply.

Contents
Standards and Guidelines for All Buildings are provided to ensure that building form and architectural elements are in support of the community's vision for the Park Street Districts. Design standards apply to all building types, and conformance with the standards is mandatory.

Green Building Design Guidelines are provided to encourage the application of sustainable practices in building design.

Mediterranean style commercial block building.

Victorian style single family house.

Early 20th Century Commercial block building.

3.4.2 Architectural Standards and Guidelines For All Buildings

1. Styles

Alameda's architectural heritage is embodied by the variety of distinct building styles that are key to the rich built environment of the City. During periods of style transition it was common for buildings to incorporate design elements and materials shared among different architectural styles. However, the blending of design elements from non-related styles from different time periods resulting in a vague architectural expression, is not appropriate in Alameda.

Standards

1. All buildings shall have a *predominant* identifiable architectural style. Refer to Architectural Style Guidelines for recommended styles suggested for the Plan Area.

2. Building Articulation

Building articulation refers to architectural elements that shape the building form. Articulation occurs at several scales, from ground floor elements that address the pedestrian, to building massing and roof forms that influence neighborhood character. Both horizontal and vertical articulation must be resolved to create a building with visual interest that supports district character.

Standards

1. Façade articulation shall be accomplished using architectural elements consistent with the character and architectural style of the building.
2. The spacing and organization of facade articulation elements such as windows, doors and balconies must have a clearly identifiable rhythm or composition.
3. Commercial block buildings shall have a clearly articulated ground floor that distinguishes it from upper stories. Ground floor articulation can be achieved using a continuous band or moulding, awnings or canopies, and/or a change of materials.
4. Balconies, porches and loggias shall be designed in keeping with the character and style of the building. Solid walls along balconies are not permitted. A minimum of 30% railing transparency is required.
5. For building additions, new construction shall maintain the same facade articulation treatment as the existing structure.

Guidelines

1. Massing and proportions of new buildings should complement the character of adjacent buildings.
   a. Building design should consider the vertical and horizontal rhythm of neighboring building elements including windows, cornice lines, belt cornice, pilasters, and and canopies.
2. Overall facade composition should reflect the scale and character of key elements commonly associated with the architectural style. Oversized traditional building details are discouraged.
3. Length articulation referenced from adjacent buildings is encouraged.
4. Buildings located on sites where "corner treatment" is required or where they terminate prominent views should include a distinctive facade treatment.

   a. Corner articulation may be achieved using corner entrances, towers, wrap around windows, or other architectural elements consistent with the character and architectural style of the building.
   b. For commercial buildings, the primary facade treatment including all elements of articulation and composition should not stop at the corner. Side street facades should be composed and articulated using building elements similar to the primary facade treatment for a minimum of one perceivable building increment

Ground floor is clearly distinguished to create a building base

Corner volume and unique roof form.

Commercial block building with ground floor retail uses and accentuated corner volume.

Well articulated Modern building facade.

Commercial block building with rounded corner treatment.

Corner volume with formal entry and unique windows in building tower.

Corner tower with french doors leading to terrace on upper story.

Corner mass accentuates building style and incorporates unique roof form.

such as a storefront or building bay.

3. Materials

Building materials shall be selected to achieve a high level of craft and quality, and to protect and enhance overall district character.

Standards

1. Facade materials shall be selected in accordance with the building's architectural style.
2. Facade cladding materials shall be high quality, durable, easy to maintain, and installed with a high degree of craftsmanship.
   a. If exposed wood is used it shall be painted, stained, or treated and maintained to prevent noticeable weathering. Exposed rough sawn wood and pressure treated wood is not permitted.
   b. Synthetic and recycled materials shall closely resemble the material which they are intended to simulate.
   c. Rustic materials shall be avoided on commercial block and workplace commercial buildings.
4. A maximum of 3 cladding materials shall be used for primary wall surfaces not including windows, canopies and awnings. Secondary materials shall be used on building elements such as columns, base treatment, window and door trim, and cornice or ornament. Primary and secondary building materials shall be used consistently on wall surfaces and building elements.
5. All building materials used on exterior elevations shall be intended specifically for exterior applications.

Neoclassical brick building with precast pilaster capital.

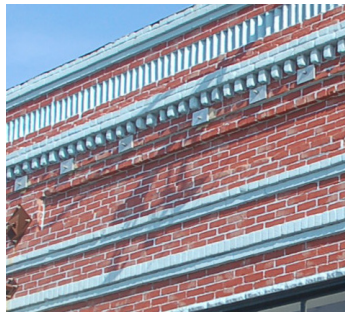
Metal cladding is used as a secondary material at building base.

Ceramic tile is used for primary cladding material.

Guidelines

1. Natural and sustainable materials are encouraged.
2. For additions and accessory buildings, wall cladding materials should complement or match the primary building materials.
3. The following materials are recommended based on their appropriateness to the range of recommended architectural styles:

   a. Brick
   Brick is a high quality material and an appropriate primary cladding for commercial, mixed-used, and live-work buildings.
   - Full brick or thin brick veneers are acceptable.
   - Thin brick should be mortared and installed to give the appearance of full bricks. Wrap around corner pieces should be used at window recesses and building corners.
   - Full brick may be used to provide ornamental relief or a cornice detail.
   - Shades of yellow or buff colored brick are most appropriate for the Park Street Core District Zone.
   - Variegated color palettes are recommended to provide additional visual texture.



Brick is used to provide ornamental relief at parapet.

Brick cladding with cast medallions.

Stone is used as the primary cladding material on the historic post office.

b. Stone, pre-cast stone and concrete:
Stone and pre-cast materials include stone veneers, pre-cast stone, pre-cast concrete, glass fiber reinforced concrete (GFRC) and fiber reinforced plastic (FRP).

- Stone type should be consistent with the building's architectural style recommendations.
- Stone and pre-cast materials are appropriate for ground floor cladding, trim, and ornamentation.
- Rough or rustic stone textures should not be used on commercial block and workplace commercial buildings in the Park Street Core.
- Grout color should be coordinated with the color of the stone.
- Where stone tile is used, the edge of the tile should not be visible.

c. Stucco

Stucco is a commonly used material for a variety of architectural styles and should be applied with careful craftsmanship and detailing.

- When used as the primary cladding, a higher quality contrasting material such as pre-cast stone or wood should be used for ground floor cladding or trim.
- Stucco should not be used on the ground floor of commercial block buildings.
- Hand applied stucco is recommended.
- Smooth stucco is recommended. Highly textured or rough stucco applications should be avoided.
- Expansion joints should be coordinated with the overall façade composition.

Grout color is coordinated with the color of the stone.

Smooth stucco and terra-cotta tiles applied to a modern building.

Smooth stucco is an appropriate material for Art Deco buildings.

d. Wood

Wood is a highly appropriate primary cladding material for several residential and mixed-use styles, and for accent on commercial block and workplace commercial buildings. Wood includes wood siding, shingles, board and batten, timber and shakes.

- Wood shingles, shakes and board and batten should not be used for commercial block and workplace commercial buildings.
- Rough sawn plywood should not be left exposed.
- Timber is an appropriate material for structural expression on elements such as columns or brackets.

e. Fiber cement siding

Fiber cement siding is considered a sustainable and low maintenance material that includes a range of products such as lap siding, shingles, and boards.

- Fiber cement siding is recommended for commercial, mixed-use, and residential buildings when appropriate to the style.
- Smooth textures should be used. Simulated wood grain textures should be avoided

Wood siding and decorative cornice on Victorian building.

Craftsman home with a combination of wood siding and shingles.

Modern building with fiber cement siding.

4. Roofs

Standards

1. All roofs shall be designed in accordance with the architectural style of the building.
2. Roof compositions shall relate to building massing and articulation.
3. Roof materials shall be of high quality, and installed with a high degree of craftsmanship.
4. Mansard roofs shall be interrupted at the building corners by towers or parapets.
   a. Mansard eave overhangs shall be 'open' with exposed rafter tails, 'boxed' with brackets, or incorporate a moulding.
   b. Mansard roofs on corner buildings shall be consistent along both facades.
5. All flat roof edges shall include a shaped parapet, ornamental band, cornice, roof overhang, roof railing, notches for scuppers, or a parapet cap to create an interesting skyline.
6. Roofs of additions and accessory buildings shall complement the design, material, and roof pitch of the main or original building.

Guidelines

1. Roof overhangs should support facade articulation, and add depth and shadow .
   a. Roof overhangs should be a minimum of 18 inches.
   b. Eave overhangs may be 'open' using exposed rafters, or 'boxed' using concealed rafters. Open eave overhangs should be terminated with a fascia, decorative gutters, or shaped rafter tails.
   c. Eave overhang soffits should be finished. Smooth painted plywood or tongue and groove is recommended.

Barrel roofs are appropriate for modern buildings.

Eave overhang with exposed rafter tails and decorative gutter.

Boxed eave treatment with decorative soffit.

5. Windows

Windows are one of the most important elements of building design. Their quality and appropriateness to the overall design has a significant affect on the visual quality of the building.

Standards

1. Windows shall be designed in accordance with the architectural style of the building.
2. Window materials should be used consistently. Second floor and storefront windows may vary in material provided but shall be consistent with overall building style. Windows shall be constructed of durable materials including wood, aluminum, steel, fiberglass, and vinyl.
3. All window frames shall be recessed from building walls.
   a. Window frames shall be recessed a minimum of 2 1/2 inches measured from the exterior wall to the glass surface.
   b. Window surround thickness shall not count toward the recess dimension.
   c. For bay windows with wrap around windows, the glass may be recessed the dimension of the window frame.
   d. Modern style buildings may be excepted.
4. Divided lite windows may utilize true divided lites or simulated divided lites. Muntins or grids shall project at least 3/8" from the glass surface. Sandwich muntins, where muntin material is located between two panes of glass to imitate divided lites, shall not be used. Roll on or tape muntins shall not be used. Muntins shall be used on the exterior and interior of the glass. For simulated divided lites, spacers shall be used between panes.
5. All windows other than small accent windows and storefront windows shall be divided into a minimum of two panes.

Streamlined Moderne window with curved recess and divided lites.

Elaborately framed window on Neoclassical commercial block building.

Sunshades are placed between storefront and transom window.

6. Horizontal slider windows are permitted only on Modern style buildings.
7. Bay windows shall include the following.
   a. Bay windows shall have windows on all projecting surfaces.
   b. Roof line of bay windows shall be treated with a roof form, parapet, trim or moulding.
8. Windows may include a window surround and sill designed in accordance with the building style.
   a. Window surrounds shall not project more than 2 inch from the wall surface.
   b. Window surrounds shall be of a high quality material such as wood, smooth stone, or pre cast concrete. Stucco, exterior insulation and finish systems (EIFS), or other foam products shall not be used for window surrounds.
   c. Window sills shall be wood, stone, brick, metal, or smooth stucco.
   d. Window sills shall project between 1 and 2 inches.
9. Street facing windows shall maintain transparency.
   a. Window glass panes shall not be painted.
   b. Ornamental window glass such as stained glass is permitted.
   c. Reflective glass windows shall not be permitted.
10. Screen windows shall not be visible from the street.
11. On additions, windows shall complement in design and materials the windows of the primary building.

Modern storefront with transom windows.

Window sill with terra-cotta tiles

Windows create a unifying pattern along facade.

Guidelines

1. On multistory buildings, windows on upper stories should be smaller in size than ground floor windows.
2. All windows for new buildings should be energy efficient.
3. Window glass should be clear. If tinted glass is used, light green shades are recommended.
4. Window materials should be colored to complement building facade colors. Wood windows should be painted, stained or be treated with a preservative to prevent weathering. Vinyl and fiberglass windows should be integrally colored. Aluminum and steel may be painted.

Early 20th century workplace commercial building with divided lite clerestory windows.

The Old Post Office uses windows with metal accents, common of the Beaux Arts style.

Windows define the ground floor of this Art Deco workplace commercial building.

6. Ornamentation

The character of a building's ornamentation places the design within a historic context and is a clear indicator of architectural style. Choosing and accurately executing ornament with proper materials, proportion, and placement, reinforces the style of the building and is important to achieving a cohesive design.

Standards

1. Ornamentation shall be used in accordance with the architectural style of the building.

Guidelines

1. Ornamentation should be appropriately scaled to the building. Oversized ornament should be avoided.

Mediterranean Revival Ornament with floral motif.

Cast stone medallion in spandrel.

Recessed building entry with soffit treatment.

7. Building entries

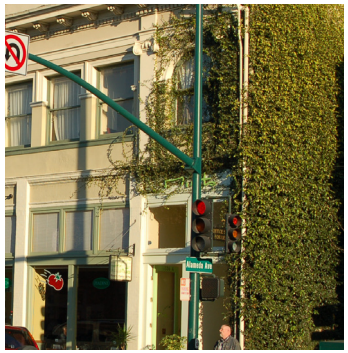
Well designed primary and secondary building entries welcome pedestrians while clearly conveying the use, whether it be commercial, workplace, or residential.

Standards

1. Main building entries shall be clearly marked, easy to identify and integrated within the design of the front building facade.
2. Formal entries to upper story uses shall be clearly distinguishable from ground floor retail entrances.
3. Primary entry doors shall be made of a high quality durable materials selected in accordance with the architectural style.
4. Primary entry doors shall provide transparency at the primary street facade.
   a. Residential entry doors facing the public right of way shall have a minimum 10% of door area glazing.
   b. Commercial entry doors shall have a minimum 50% of door area glazing.

Guidelines

1. Building entries should be accentuated using architectural elements designed according to the style of the building and should include one or more of the following treatments:
   a. Recessed building entries may include special paving, soffit treatment, and decorative light fixtures.
   b. Building entries may be accentuated with canopies, overhangs, and awnings.
   c. Entry doors should include a transom window or sidelights, and a clearly marked address.



Commercial block building entrance to upper story uses is distinguishable from ground floor retail entrances.

Streamlined Moderne recessed entry treatment.

Special paving at recessed entry.

8. Garage Doors

Standards

1. The design and material of garage doors shall complement the architectural style of the building.

Guidelines

2. The following design treatments are recommended to reduce the overall visual impact of garages:
   a. Doors should have a minimum of 10% glass.
   b. Doors should be recessed a minimum of 6 inches from the wall surface.
3. Single car garage doors are recommended. Where used, double doors should not exceed 18 feet in width and should appear as individual doors.

Multiplex building with group of single loaded garage doors.

Townhomes with shared driveway, and single-loaded garage doors.

Contemporary design extends to townhouse garage doors.

Guidelines

1. Building colors should complement the architectural style of the building and should be compatible with overall district character.
2. Primary colors should be used for the building walls and/or cladding material.
   a. Neutral hues are recommended for primary building colors. Vivid hues should be avoided.
3. Secondary colors should complement the primary color and may be used to accent key architectural elements and trim.
   a. Warm/cool color combinations should be avoided.
4. Fluorescent colors should not be used.

Pastel tones are recommended for Colonial Revival buildings.

Secondary colors are used to accentuate architectural details.

Facade colors used to accentuate storefront windows.

10. Lighting fixtures

Standards

1. The size, style, and material of exterior lighting shall complement the architectural style of the building.
2. Exterior lighting fixtures shall be selected in accordance with the building type. For example, residential lighting fixtures shall not be used for commercial buildings.
3. All exterior lighting fixtures shall be constructed of durable materials specifically designed for exterior applications.

Guidelines

1. Light fixtures should be placed to create a repetitive pattern at the street facade. Recommended placement includes on walls or pilasters between building bays.
2. Commercial wall-mounted lighting fixtures should be used at the ground floor level.
3. Exposed fluorescent lighting should not be used on the building exterior.
4. Warm white lighting is recommended for exterior applications.
5. Lighting conduit should not be visible on the exterior of the building.

Modern style light fixture.

Mediterranean Revival decorative wrought iron light fixture.

Mechanical equipment should not visible from the primary street facade.

11. Mechanical Equipment and Screening

Mechanical equipment should be integrated with the building design to prevent visual clutter that distracts from the building's appearance.

Standards

1. All roof mounted mechanical equipment shall be within an enclosure that is consistent with or derived from the style of the building.
2. Skylights, plumbing vent pipes, satellite dishes, and any other mechanical equipment located on the roof shall not be visible from the street. Roofs vents shall be ganged together and placed on the rear-facing slope where possible.
3. Ground floor mechanical equipment shall be screened and not be visible from the street.
   a. Screening shall include characteristics derived from the style, materials and colors of the building.
   b. Screening with chain link fencing or pressure treated wood is not permitted.
4. Solar panels shall be integrated with the building's roof forms and shall not appear as a prominent element along Park Street.

Guidelines

1. Roof drainage elements shall be designed using materials and colors consistent with the architectural style.
2. For commercial block and workplace commercial buildings, downspouts should be concealed within walls whenever possible.
3. For residential buildings, downspouts should be placed on side elevations where possible.
4. Window-mounted air conditioning units should not be visible on the primary building facade.

Downspout is located on side of house.

Half round gutters are appropriate for Mediterranean style buildings.

Roof drainage system is concealed from view.

3.4.3 Green Building Guidelines

In addition to architectural design standards and guidelines, the application of Green Building Guidelines is highly recommended as an integral part of building design and construction to conserve energy and material resources. The following categories are provided for consideration.

Energy Efficiency

- Increased building performance may be achieved by using a well insulated building assembly, a tight building envelope, and energy efficient systems.
- Buildings should be designed to maximize the use of abundant natural daylight as the primary source of illumination.
- Windows should be oriented to the north and south to maximize natural building heating and cooling where possible.
- Roof overhangs, trellises or sunshades may be used to minimize solar heat gain.
- Roof surfaces may be designed to incorporate solar panels.
- Garden roofs may be used to provide insulating and energy benefits by reflecting solar radiation.

Materials and Indoor Air Quality

- Materials that have low or zero volatile organic compounds (VOCs) and do not have other toxic chemicals that contribute to indoor air quality pollutants should be used.
- Renewable materials should be used where possible for interior and exterior building finishes such as siding, flooring and carpet.
- Operable windows should be used to provide fresh air circulation.

Landscaping provides shade on walkways.

Large roof overhangs minimize heat gain.

Green roofs may be incorporated in modern building designs.

Recycling & Reuse

- Non-recyclable waste should be minimized during construction and renovation. Regulated waste clean-up methods are encouraged.
- A collection and storage area for recyclables shall be provided.
- Recycled and/or salvaged building materials should be used whenever possible.

Stormwater Management

- Building design should incorporate systems to collect rainwater for use in grey-water systems such as toilets as well as site landscaping, or should direct rainwater to on-site infiltration flow-through planters, rain gardens and similar on-site collection and treatment systems.

Resources

- U.S. Environmental Protection Agency: Energy Star Program for Residences and Commercial Buildings. Program requirements include a combination of building envelope upgrades, high performance windows, efficient heating and cooling equipment, lighting, and appliances.
- The U.S. Green Building Council -LEED (Leadership in Energy and Environmental Design). Program includes guidelines and building certification that support sustainable design and building practices.

Roof overhangs on a craftsman bungalow reduce solar gain.

Operable windows provide fresh air circulation.

Window sunshades reduce the amount of solar heat and glare during summer months.

3.5 ARCHITECTURAL STYLE GUIDELINES

Purpose and Intent
Architectural Style Guidelines address defining elements of building design for each of the nine styles recommended for the Plan Area.

Overview

Guidelines are applicable to new construction, restoration, renovations, and additions. New construction is strongly encouraged to reflect qualities of scale and refinement common to historic styles. Creativity is encouraged, however, efforts should be made to build on the character of the City's architectural heritage. Each applicant shall identify the architecture style of the proposed building.

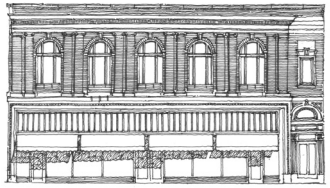
- For rehabilitation of existing buildings, architectural style shall be based on visual inspection or historic records.
- For new construction, architectural style may be selected based on building type and in consideration of context, including proximity to historic buildings and prevailing district character.

Styles are listed chronologically based on their appearance in Alameda. Guidelines for each style are as follows:

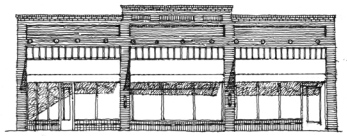
- Recommended building types
- Massing and articulation
- Building materials
- Roof treatment
- Windows
- Building elements
- Ornamentation
- Entries
- Storefront treatment
- Signage and lighting
- Colors

A. Victorian

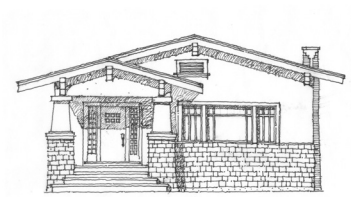
B. Colonial Revival



C. Neoclassical

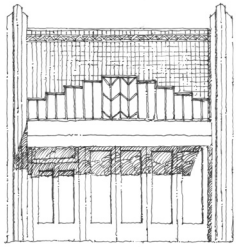


D. Early 20th Century Commercial

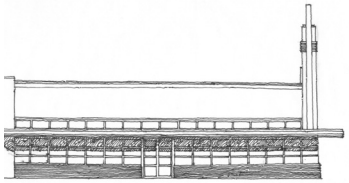


E. Craftsman

F. Mediterranean



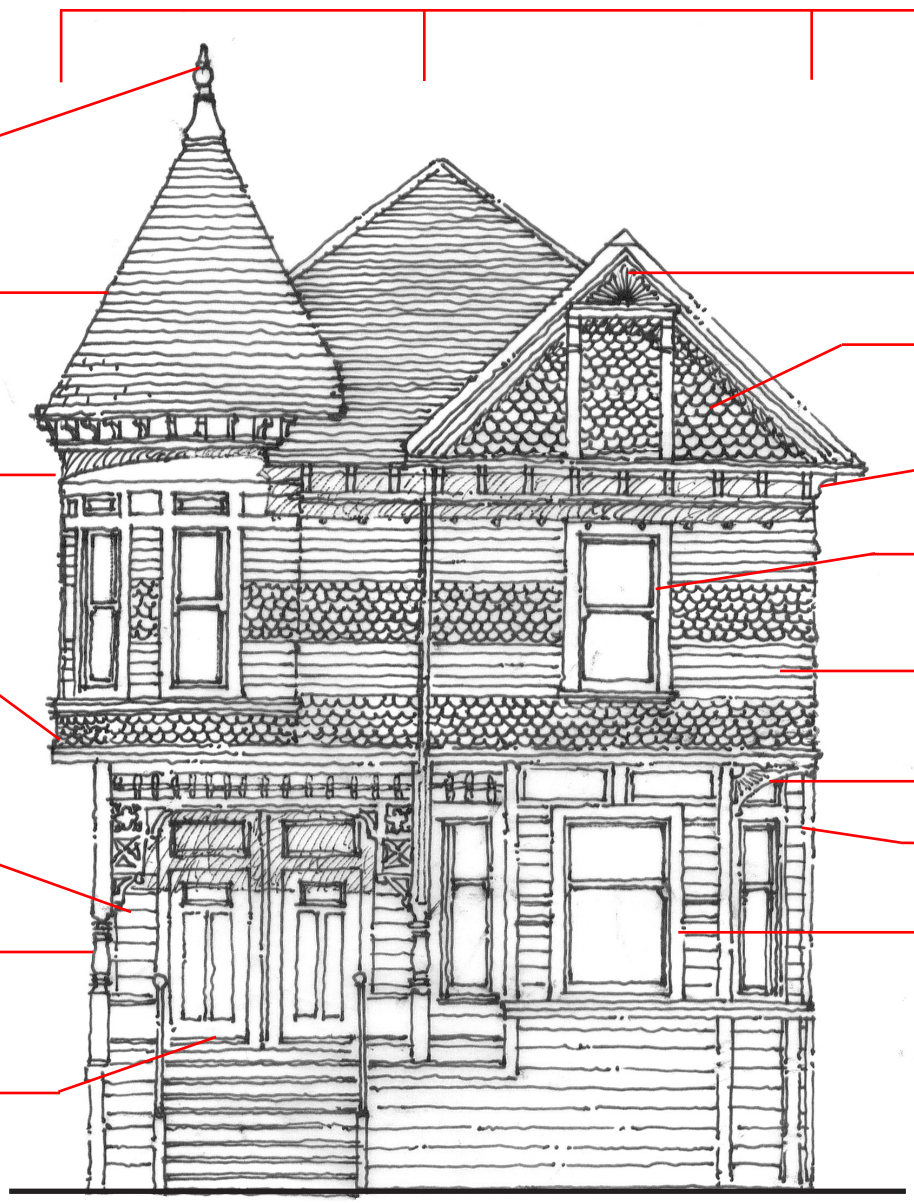
G. Art Deco



H. Streamlined Moderne

I. Modern

3.5.A Victorian



Introduction

The general term “Victorian” is used to describe several styles that flourished during the reign of Queen Victoria including Gothic Revival, Italianate, Second Empire, Stick, Queen Anne, and Shingle. Collectively, the styles used multi-textured, multicolored walls, steeply pitched roofs and abundant ornamentation that referenced a variety of historic sources. Victorian architecture is identified with Alameda as its prominence coincided with the early growth of the city, making it the oldest predominant style remaining today.

Recommended building types

- Commercial block
- Multiplex
- Rowhouse
- Live-work
- Single-family detached

Massing and articulation

1. One or two story structures with vertically proportioned volumes are appropriate for residential buildings.
2. Rectangular volumes are appropriate for commercial buildings.
3. Volumes may be extended by combining side wings or rear wings with the main volume.
4. Round, square or polygonal towers may be used to provide building articulation at corners.
5. Vertical articulation may be achieved using a continuous horizontal band or a change of material or textures to distinguish the ground floor from upper stories.
6. The ground floor should be raised a minimum of 3 feet.

Commercial block building.

Single-family detached house.

Small single-family detached house.

Multiplex building.

Single-family detached house.

Multiplex building.

Building materials

Walls

1. Exterior walls should be composed of wood siding or shingles and may include multi-textured patterns.
2. Wood shingles with various shapes such as 'fishscale' are appropriate.
3. Rustic or V-groove wood siding with 7 to 9.5 inches of exposure is appropriate. Fibercement lap siding may be used to emulate historic lap siding exposure and detail.
4. Horizontal and vertical bands may be used to create varied wall patterns.

Base

1. Base treatment may include a horizontal band and change in material from the main volume.
2. Lap wood siding may be used for base treatment. Spacing may be equal to or wider than spacing on the main building volume.

Roof treatment

1. Roof types should be gabled, cross gabled, or hipped with steeply pitched roofs of 8:12 or greater. Italianate roofs may have a lower pitch roof behind a parapet.
2. Asphalt composition shingles or wood shingles should be used.
3. Decorative trusses or ornament in gable ends are recommended.
4. Dormers may be added to articulate roof volumes.

Gutters and downspouts

1. 'K' style gutters, half round gutters and round downspouts are appropriate.

Multi-textured shingles and wood siding are used in combination.

Painted wood siding extends to base.

Steeply pitched front gable and hip roof.

Windows

1. Window types should be single or double hung with vertical proportions.
2. Painted wood, and fiberglass and wood cladded windows that are a visual match to wood windows are appropriate.
3. Multiple windows may be grouped to create larger openings.
4. Upper windows sashes may be single pane or multi-pane.
5. Curved windows are recommended at round towers.
6. Squared 1x6 inch wood trim is appropriate at window and door openings.

Building elements

Porch columns/supports

1. Porch columns should frame the location of windows and entry door.

Bay Windows

1. Squared or angled bay windows are appropriate for Victorian buildings.
2. Bay windows may be one or two stories in height.

Towers

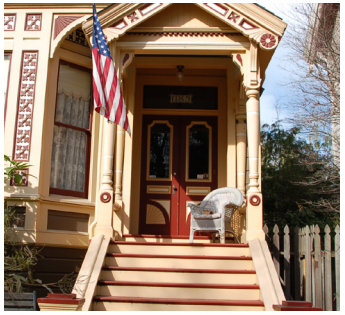
1. When used, towers should be placed at a front building corner.
2. Towers may be square, round or polygonal.
3. Towers may be cantilevered or extend from the ground floor.

Railings

1. Railings should have vertical pickets and be made of wood. Wrought iron or other metals should not be used, except as visually unobtrusive supplements to extend rail height to meet building code requirements.

Grouped double hung windows create a larger opening.

Single hung window with ornamental window surround.



Entry porch frames front door.

2. Pickets should include turned wood balusters or flat boards that have a sculpted profile.
3. Handrails may be embellished with cove mouldings.

Ornamentation

1. Ornamental elements may include applied reliefs, spandrels, brackets, intricate balusters, fluted columns, ornate spindels, and turned posts.
2. Ornamental motifs may include a range from Gothic imagery such as quatrofoils, to classical imagery.

Entries

1. Paneled doors should be used at the primary entrance. Panel doors may include a panel of beveled or flashed glass above a recessed panel with moulding.
2. Front entry door may include transom windows.
3. Entry stairs should be made of wood.

Storefront treatment

1. Storefront display windows should be framed in wood. Windows with vertically proportioned divided lites are appropriate.
2. Storefront windows should be recessed and include wood sills.
3. Bulkheads should be made of wood framing decorated with painted wood paneling and trim.
4. Entries should be recessed from the storefront.

Balcony railing detail with turned wood balusters.

Secondary entrance treatment includes a paneled door with transom window.

Lighting

1. Recessed and ceiling mounted lighting at entries are recommended.

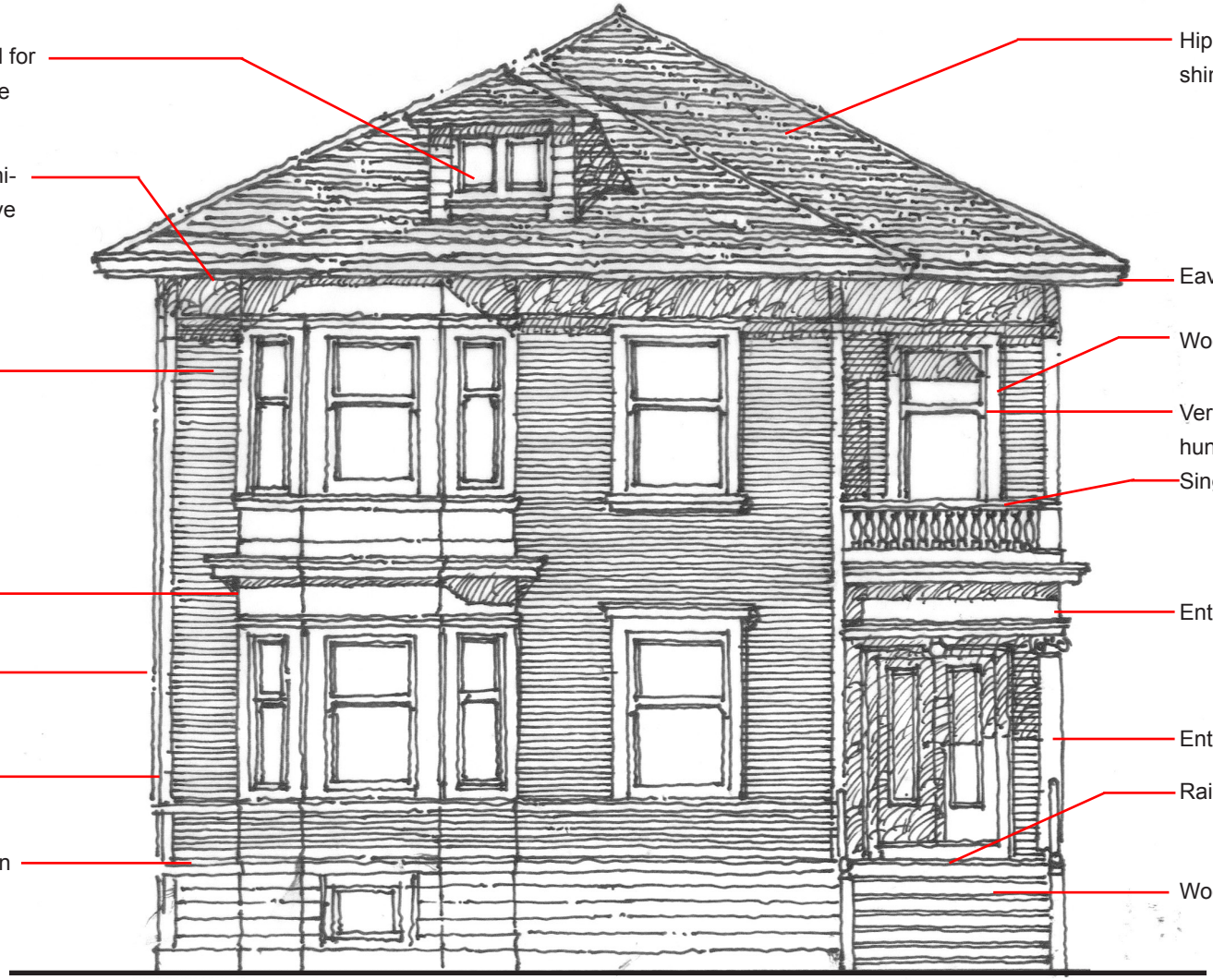
Colors

1. A range of colors should be used to accent the large variety of cladding materials and ornamentation.
2. Natural shades of sand, stone, and earth tones for exterior walls are appropriate.
3. Vivid accent colors for windows, doors, and details are recommended.

Secondary colors are used to accentuate architectural details.

Ornamental relief and cornice detail.

3.5.B Colonial Revival



Introduction

Colonial Revival architecture resulted from an American movement inspired by patriotism and a growing interest in historic preservation. Buildings are characterized by simple volumes and classical details reminiscent of early American architecture. The style gained widespread popularity following its appearance at the 1876 US Centennial Exposition and remained popular into the early 20th century.

In Alameda, the Colonial Revival style can still be seen in a variety of building types ranging from single and multi-family houses to retail buildings. Colonial Revival's simple massing and minimal ornamentation allow for it to be reproduced in new construction where a historic style is appropriate or desired.

Recommended building types

- Commercial block
- Workplace commercial
- Stacked flats
- Multiplex
- Rowhouse
- Courtyard housing
- Single-family detached

Massing and articulation

1. One or two story structures with rectangular to square proportions, simple volumes, and symmetrical facades are appropriate.
2. Classical details such as cornices may be used for vertical articulation
3. Volume articulation may be enhanced with clearly defined entry porches and bay windows.
4. The ground floor should be raised a minimum of 3 feet.

Single-family detached house.

Multiplex building.

Single-family detached house.

Single-family detached house.

Single-family detached house.

Multiplex building.

Building materials

Walls

1. Exterior walls should be comprised of wood siding. Closely spaced flush lap siding is recommended with wider v-groove spacing at the basement level.
2. Decorative trim should be used at building corners.
3. Wide trim may be used to separate the eave from siding.

Base

1. A continuous horizontal band or water table should be used to distinguish the base from the ground floor.
2. Wider siding may be used for a building base treatment.
3. A water table may be integrated with the window sill.

Roof treatment

1. Gabled, cross gabled, and hipped roof types with low to moderate roof slopes of 5:12 or less should be used.
2. Asphalt composition or wood shingles should be used.
3. Dormers may be integrated into the front elevation to visually articulate the roof. Dormers should be centered on the primary roof volume.
4. Roof overhang should be a minimum of 18 inches.
5. Eave overhangs may be 'boxed' with decorative brackets, or may be 'open' and terminated with a trim board.

Eave overhang with decorative brackets.

Raised entry with lap siding base treatment.

Hipped roof with attic dormer.

Gutters and downspouts

1. 'K' style gutters are recommended to mimic classical crown mouldings at roof eave.
2. Round downspouts are appropriate.
3. Gutters and downspouts should be painted to match trim.

Windows

1. Windows should be single or double hung with vertical proportions.
2. Painted wood, and fiberglass and wood cladded windows that are a visual match wood windows are appropriate.
3. Two or three windows may be grouped together to create larger horizontal openings.
4. Diamond or square windows may be used to accent entry foyers.
5. Accent windows may be fixed.
6. Palladian windows which include a grouping of three windows with a high arched central section may be used on the front elevation.
7. Window surrounds should utilize 1x6 inch wood trim.
8. Trim above windows may include a cap with or without moulding.
9. Where utilized, window shutters should be operable and sized to cover the full window width.

Building elements

Porch

1. A projecting or recessed entry porch should be used. Porches may extend the full width of the house.
2. Porches may have a flat or hipped roof.
3. Porches with a flat roof may be topped by a balustrade.

Downspout is located at side elevation.

Grouped windows with vertical proportions.

Single family houses with recessed entry porches.

Porch columns/supports

1. Porch columns should be of a classical order. The simpler orders of Doric and Tuscan are recommended.
2. Wrought iron column supports are not appropriate.
3. Porch columns may rest on a low wall that encloses the front porch.

Bay windows

1. Bay windows may be used as a design element fronting the primary street or along side elevations.

Railings

1. Bellied balustrades or square pickets are appropriate.

Ornamentation

1. Ornamentation should be minimal.
2. Ornamental building elements may include dentil bands, decorative brackets at overhangs, and decorative entry porch columns.
3. Decorative pilasters may be used to frame grouped windows at building corners.

Entries

1. An entry stoop or porch is appropriate.
2. Front doors should include a glass pane and may have a transom window.
3. Double doors may be used for multi-family dwellings to provide access to a lobby or stair.
4. Sidelight windows may be used adjacent to the front door.

Entry porch with columns raised on low walls.

Bay window with decorative cornice.

Front door with window pane.

Storefront treatment

1. Storefront display windows should be framed in wood.
2. Storefront windows should be recessed and include wood sills.
3. Bulkheads should be made of wood framing decorated with painted wood paneling and trim.

Signage

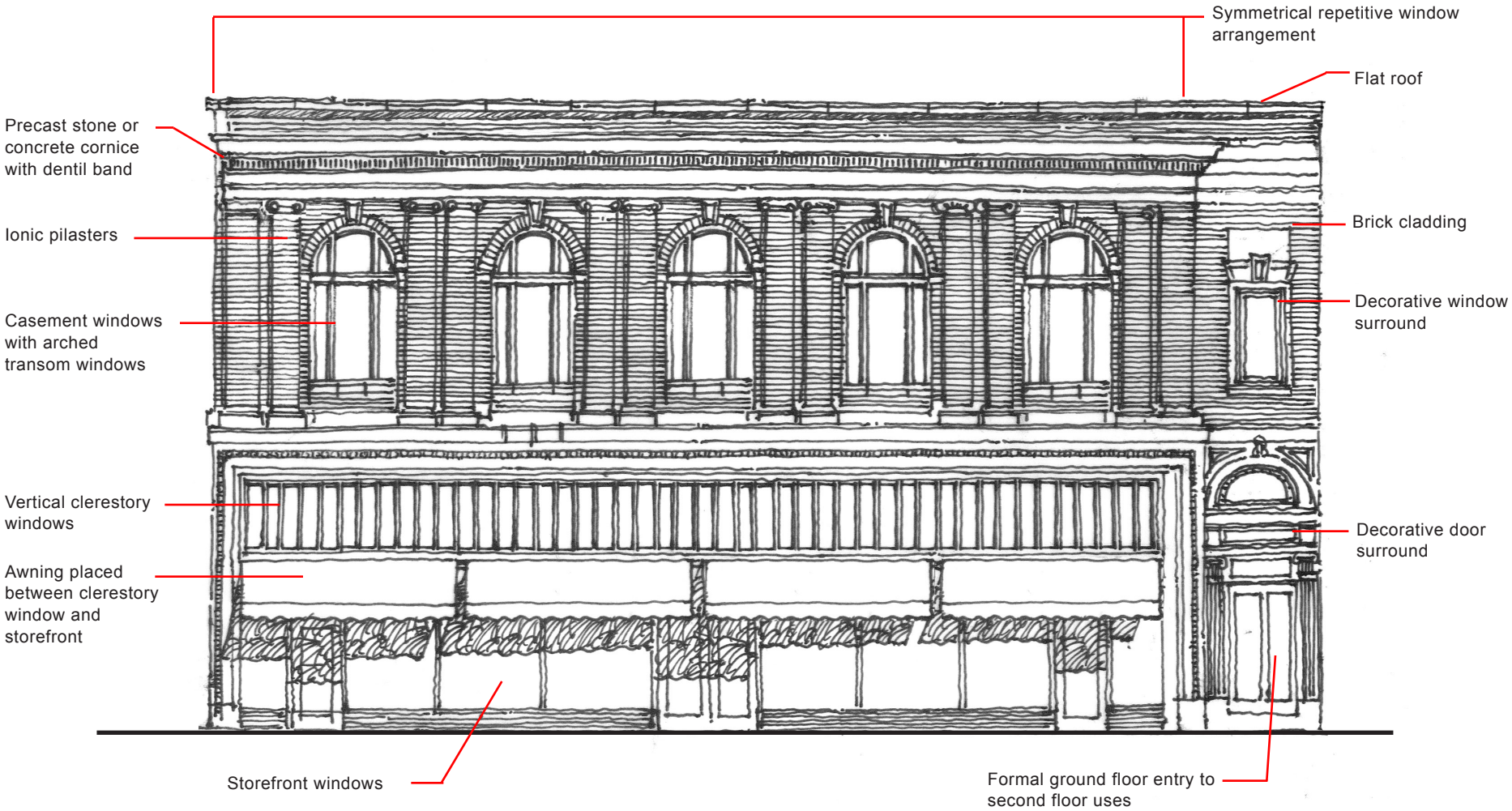
1. Signage should be located in accordance with architectural façade detailing. Windows and cornices should not be obscured.

Colors

1. White, off-white and pastel tones with light trim are recommended.
2. Details should be highlighted with colors complementary to the primary building color(s).

Corner storefront treatment with clerestory windows.

3.5.C Neoclassical



Introduction

Neoclassical and Beaux Arts architecture became popular as part of a revived national interest in classical design following the World's Columbian Exposition held in Chicago in 1892. The styles came to represent strength and order and were often used for civic, commercial, and institutional buildings, employing symmetrical compositions and classical elements such as columns, pilasters, pediments, cornices and arches.

In Alameda the historic post office on Central Avenue presents an excellent example of Beaux Arts architecture at the height of its style, while the Bank of America building on Park Street displays many of the key elements common to the Neoclassical style.

Recommended building types

- Commercial block
- Workplace commercial
- Live-work
- Stacked flats
- Multiplex
- Rowhouse
- Parking structure

Massing and articulation

- Overall building composition should be symmetrical.
- Pilasters or half round columns should be used for horizontal articulation.
- For new construction, pilasters with the simplest orders of Doric and Tuscan columns are recommended.
- Single or paired pilasters should be used to frame windows and doorways.

Civic building.

Institutional building.

Commercial block building.

Commercial block building.

Commercial block building.

Workplace commercial building.

Building materials

Walls

1. Exterior walls should be composed of brick, smooth stone, terra-cotta cladding or smooth stucco.
2. Brick cladding may be used for commercial block buildings. Tan and yellow toned bricks are appropriate.
3. Pre-cast GFRC or FRP panels may be used to provide a similar visual appearance and finish to historic materials.
4. Secondary materials should provide subtle contrast with the primary wall cladding material.
5. A secondary material should be used for cornices, dentils, pilaster base and capitals, keystones, and ground floor cladding. Appropriate secondary accent materials include terra-cotta, cast stone, cast concrete, GFRC or smooth stone.
6. Stucco or EFIS should not be used for façade detailing or as a secondary material.

Base

1. The ground floor may be treated as the building base.
2. Base treatment may include a third material such as rusticated stone or pre-cast concrete panels.

Tan brick cladding with recessed windows

Column base treatment with tile plinths

Flat roof with parapet and cornice detail

Roof treatment

1. Flat roofs should have a parapet with a decorative cornice.
2. Where the parapet is visible above the cornice it should have a simple cap treatment.

Gutters and downspouts

1. Gutters and downspouts should be concealed within walls along the primary street elevation whenever possible.
2. Flashing should be of a high quality material such as copper or metal painted to match the adjacent surface.
3. Exposed gutters and downspouts should be painted to match trim colors.
4. Ornamental spouts may be used at the building base and should be of a high quality metal such as copper, bronze, or stainless steel.

Windows

1. Windows should be vertically proportioned with or without divided lights.
2. Transom windows are appropriate
3. Window types may be single, double hung or casement.
4. Wood, anodized aluminum, and fiberglass windows that visually match wood windows are appropriate.
5. For brick buildings, windows should be recessed a minimum of one brick depth.
6. Windows may be arched with a keystone or rectangular with a lintel.

Roof drainage is concealed at primary street elevation

Vertically proportioned double hung wood windows

Pilaster base treatment

Building elements

Columns/supports

1. Columns, engaged columns, and pilasters of all classical orders should be used.
2. Where more than one order is used for columns or pilasters, the more delicate orders of Ionic and Corinthian should be placed above Tuscan or Doric orders.
3. The capitals and bases of pilasters or half round columns should follow the proportions of a classical order and not be overly stylized.

Ionic pilaster detail

Ornamentation

1. Ornamentation should use classical motifs such as cornices, balustrades, medallions, sculptural figures, and decorative door and window surrounds.

Entries

1. Front doors should include a large window pane and a transom window. Double doors are appropriate.
2. Sidelight windows should flank the front door.

Secondary entry to upper floor

Storefront treatment

1. Storefront display windows should be framed in wood or thin metal.
2. Storefront windows should be recessed and include wood sills.
3. Bulkheads should be made of brick and may be decorated with ceramic tiles or polished marble slabs.
4. Glazed ceramic tiles used on bulkheads should be no more than “4x4” inches and no less than “2x2” inches. Tile colors should be limited to a primary and secondary color. A band of accent tiles “1x1” inch or less may be used below the top row of tiles.

Signage

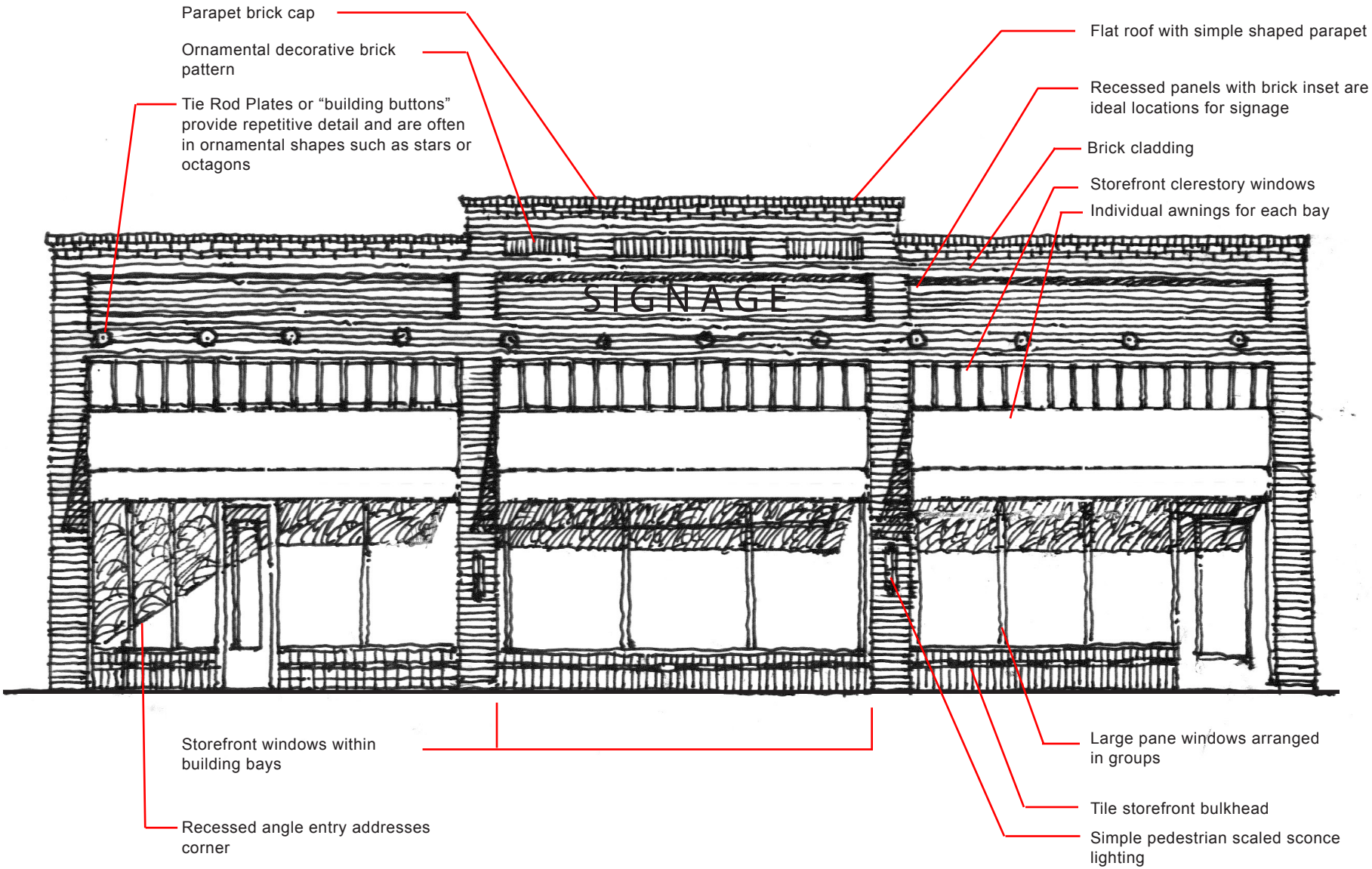
1. Blade signage is recommended

Colors

1. Shades of white, light yellows, and stone colors are recommended for the main building volume.
2. Contrasting accent colors should be used for shutters and windows.

Ground floor commercial treatment with ceramic bulkhead

3.5.D Early 20th Century Commercial



Introduction

Early 20th Century Commercial architecture emerged at the beginning of the 20th century as a popular style for one and two story buildings in business districts. Characterized by the predominant use of brick with minimal ornamentation, these structures replaced 19th century wooden false front commercial buildings, reshaping the look of downtowns. Single story buildings employ subtle detail achieved through various brick patterns, while two story buildings may employ a decorative cornice and ornamental castings.

Examples in Alameda range from functional one story light industrial buildings to ornamented storefront buildings in the downtown.

Recommended building types

- Commercial block
- Workplace commercial
- Live-work

Massing and articulation

1. One and two story structures should have simple rect-angular volumes.
2. A multilevel shaped or stepped parapet may be used for roof articulation.
3. For multistory buildings, a continuous horizontal band should be used to articulate the ground floor.
4. Building bays should be used for horizontal articulation.

Workplace commercial building.

Workplace commercial building.

Workplace commercial building.

Commercial block building.

Workplace commercial building.

Commercial block building.

Building materials

Walls

1. Exterior walls should be composed of brick.
2. Brick may be set in varying patterns to achieve visual interest.
3. Recessed panels for signage may be used beneath the parapet wall and above the storefront.
4. Inset accents of a contrasting material such as tile, concrete, limestone or terra-cotta are appropriate.

Base

1. Wall brick pattern should extend to building base.

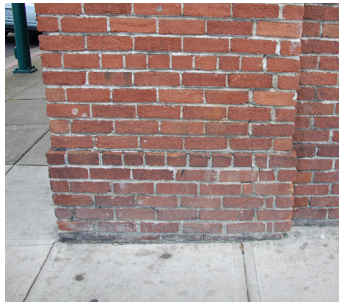
Roof treatment

1. A parapet cap or brick cornice is appropriate.

Gutters and downspouts

1. Roof drainage should be concealed within walls whenever possible on the primary facade.
2. Round and square downspouts are appropriate.
3. Scuppers and downspouts may be unpainted galvanized metal, copper or stainless steel.

Historic variegated red brick cladding.



Brick extends to building base.

Flat roof with parapet.

Windows

1. Ground floor windows should be storefront display windows located within building bays.
2. Upper story windows should be single or double hung.
3. Upper story windows should be aligned with vertical center lines of ground floor windows.
4. Painted wood, steel sash, or fiberglass and aluminum windows that visually match wood windows are appropriate.

Ornamentation

1. Ornamentation should be minimized.
2. Ornamental treatments may include varying brick patterns, cast medallions and inset accents of tile, concrete, limestone or terra-cotta.

Entries

1. Entry doors should include a large pane of glass.
2. Double doors are appropriate for storefront and formal entries.

Medallion and brick pattern detail.

Primary entrance with transom window.

Storefront treatment

1. Storefront display windows should be composed of large panes of glass arranged in groups.
2. Clerestory or transom windows above storefronts should align across the facade.
3. Storefront display windows should be framed in wood or thin metal strips.
4. Storefront windows at building bays should be recessed a minimum of one brick depth.
5. Bulkheads should be made of brick or finished with glazed ceramic tiles.
6. Glazed ceramic tiles used on bulkheads should be no more than “4x4” inches and no less than “2x2” inches. Tile colors should be limited to a primary and secondary color. A band of accent tiles “1x1” inch or less may be used below the top row of tiles.

Banner sign is consistent with building articulation and massing.

Signage

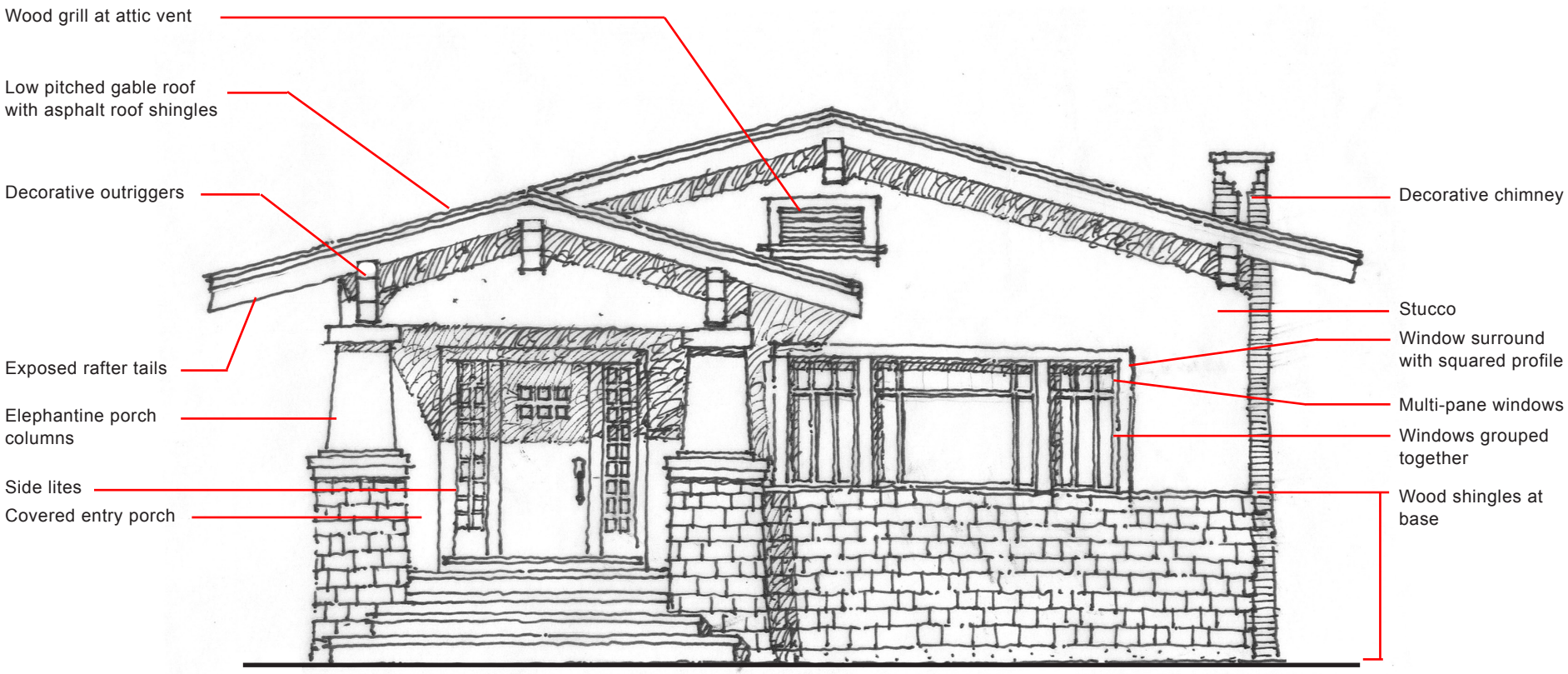
1. Primary business signs should be placed on recessed panels located beneath the parapet wall.

Colors

1. Natural brick colors and a complementary trim color should be used.

Storefront display windows and entry.

3.5.E Craftsman



Single Family Residence

Introduction

Craftsman architecture was inspired by the Arts and Crafts movement in England and became popular in California at the beginning of the 20th century. The style represented a fundamental stylistic shift from highly ornamental Victorian architecture to a modest but finely crafted home with little ornamentation. Inspired by a renewed interest in the connection with nature, craftsman houses utilized natural materials, broad, gently sloping roof forms with large overhangs, and grouped windows to increase views to the outdoors.

Alameda maintains a broad range of craftsman architecture including bungalows, and larger custom houses. Craftsman architecture was very popular between 1900 and 1930 and continues to be emulated in new buildings today.

Recommended building types

- Workplace commercial
- Multiplex
- Rowhouse
- Courtyard housing
- Single-family detached

Massing and articulation

1. One story volumes should have low horizontal proportions.
2. Varying roof forms such as shed roofs and cross gables should be used for building articulation.
3. Chimney towers should be a prominent vertical element.
4. Front facade should have a prominent entry porch.
5. Vertical articulation may be achieved using a base treatment with a contrasting building material.
6. Facade articulation elements may include structural elements such as columns, brackets, and beams.
7. The ground floor should be raised 3 to 4 feet above finished grade.

Single-family detached house with cross gables.

Single-family detached house with grouped windows.

Single-family detached house with front gables.

Single-family detached house with brick base and shed dormer.

Single-family detached California bungalow with low pitched gable roof.

Single-family house with decorative outriggers.

Building materials

Walls

1. Common primary wall materials include rough stucco, horizontal wood siding, and wood shingles.
2. Materials left in their natural state are encouraged. Wood shingles should be stained natural shades of brown or treated with a preservative.
3. Secondary wall materials may include horizontal wood siding, stone, brick, and board and batten.
4. Common combinations of primary and secondary wall materials may include wood shingles at base with stucco above, or stone at base with stucco above.
5. Smooth fiber cement lap siding with a minimum 6 inch exposure is appropriate.

Base

1. Building base should project a minimum of 1 inch.
2. Base materials may appear heavier and more textured than the primary building walls.
3. Base materials may include brick, stone, and unpainted wood shingles.
4. Building base may be integrated with the window sill.

Roof treatment

1. Simple roof forms should be used to define building mass and composition.
2. Common roof types may include side gabled, front gabled, and cross-gabled.
3. One story roof slopes should not exceed 6:12 and two story roof slopes should not exceed 9:12.
4. Asphalt composition roof shingles in brown tones or wood shingles are recommended.
5. Roofs should include wide eave overhangs and exposed rafter tails.

Board and batten used as a secondary material at gable ends.

Clearly defined base treatment.

Low pitched front gable with outriggers.

6. Front porches may use a separate roof form or be covered with an extension of the main roof.
7. For gable ends, trusses, brackets, knee braces, false beams and outriggers are appropriate.
8. Decorative wood grills are appropriate for attic vents located at gable ends.
9. Cross gables or dormers may be used to enhance living space.

Roof eave treatment

1. Eave should have a large overhang. Minimum recommended overhang is 2 feet with a maximum of 3 feet.
2. Eave overhang should be 'open' using exposed rafters, not 'boxed' with concealed rafters.
3. Rafter tails may be shaped. Squared or rounded rafter tail ends are appropriate.
4. Exposed soffits at eaves between rafter tails should be finished with smooth plywood or tongue and groove planks.

Gutters and downspouts

1. Half round gutters and round or square downspouts are appropriate.
2. Gutters and downspouts should be painted galvanized metal, or unpainted copper.
3. Corrugated downspouts should be avoided.

Windows

1. Individual, vertically proportioned windows should be grouped together to create horizontal compositions.
2. Casement and single or double hung windows should be used.
3. Square or diamond windows may be used to accent entry foyers. Accent windows may be fixed.
4. Window materials may include painted wood or fiberglass that visually matches wood.

Front gable with brackets and turned gable porch.

Large eave overhang with exposed rafter tails.

Grouped windows with divided lites.

5. Windows should include divided lites with patterns in upper sashes. Patterns of equally divided vertical panes, or a combination of square, diamond, and vertical panes are appropriate.
6. Window composition may include 2 vertically proportioned windows flanking a middle window of horizontal proportion.
7. Window trim and sills should be wood.
8. Window surrounds should utilize 1x6 inch wood trim with square edges.

Horizontal proportion of grouped windows.

Building elements

Porches

1. Single story porches should be raised a minimum of 3 feet.
2. Front porches may project from the building facade or be recessed.
3. Spacing between porch columns should have horizontal proportions.

Raised entry porch.

Porch columns/supports

1. Porch columns may be full height or partial height. Partial height columns should rest on a low wall or heavy squared piers a minimum of 18 inches in width. Pier columns with tapered shafts and a minimum 12 inch width are appropriate.
2. Columns should be square and may be stucco, brick, wood cladded, or timber. Timber columns should be a minimum dimension of 6x6 inches, and paired if less than 10x10 inches.
3. When wood cladded columns are used all surfaces should be smooth.
4. Grouping of columns is appropriate. Paired, triples at corners or quadruple (square in plan) 6x6 inch columns may be used.

Entry porch column detail.

Railings

1. Vertical 1x6 inch planks with ornamental detailing or square 1 1/2 inch pickets are appropriate. Square pickets should be spaced with no more than 1 ½ inches between.

Ornamentation

1. Ornamentation may include stained glass with stylized naturalistic motifs on entry doors, accent windows, and upper window sashes.

Entries

1. The front entry should be accessed through the porch.
2. Doors should be solid core or wood cladded.
3. Entry door should include glass panes and square sticking.

Signage and lighting

1. San serif fonts should be use for street house numbers.
2. Lighting should be used at entry porch and may be either ceiling mounted or a decorative wall-mounted fixture.
3. Simple square shaped lighting fixtures are appropriate.

Colors

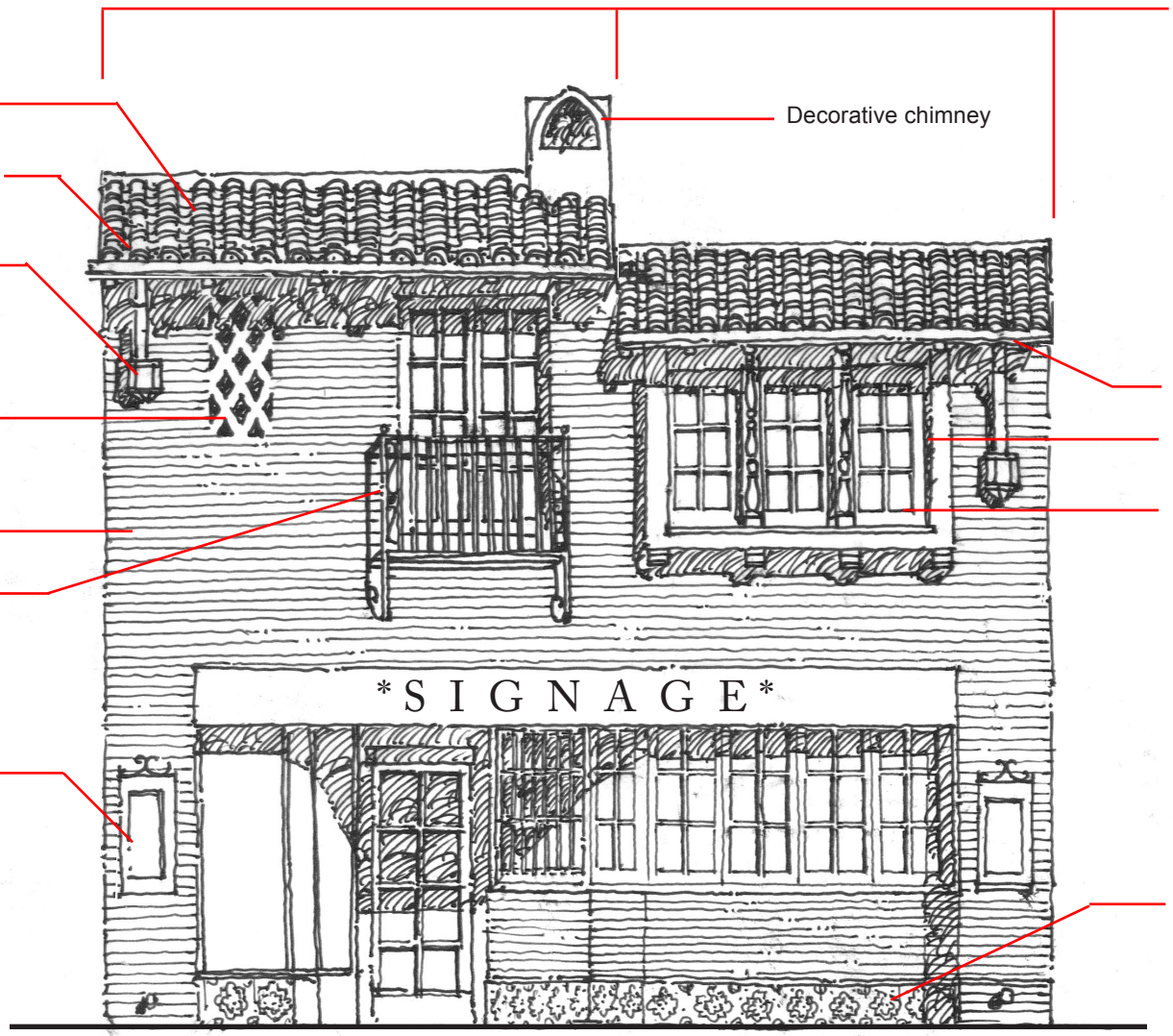
1. Colors that emulate natural materials are appropriate.
2. Complementary earth colors may be used to accent windows and details. Pure black or white should not be used.

Porch frames entry door.

Unpainted entry door with vertical panes.

Decorative wall-mounted light fixture at entry porch.

3.5.F Mediterranean Revival



Asymmetrical composition with varying roof forms

Barrel tile terra cotta roof with tiles doubled at roof edge

Decorative chimney

Copper half round gutter and conductor head

Shaped rafter tails

Decorative vent

Deeply recessed wood windows with true divided lites

Equally divided window panes

Brick cladding

Decorative wrought iron balcony

Recessed bronze menu cases

Decorative ceramic tile at base with Spanish motif

Introduction

Mediterranean Revival architecture originated in California with the construction of Spanish missions in the late 18th century. The style, which includes Mission, Spanish Colonial Revival, and Monterey, became a prominent architectural expression during the building boom of the 1920's due to its suitability to the climate, and its embrace of Spanish cultural influences.

In Alameda, examples range from bungalow courts to multi-level apartment buildings. The style is characterized by stucco walls, deeply recessed, punched openings, wrought iron railings, and terra-cotta barrel tile roofs. Ornamentation is commonly inspired by Spanish motifs.

Recommended building types

- Commercial block
- Workplace commercial
- Stacked flats
- Multiplex
- Rowhouse
- Courtyard housing
- Single-family detached
- Parking structure

Massing and articulation

1. Massing composition may include a mix of volumes of varying numbers of stories and heights with similar roof pitches.
2. A tower or a prominent volume should be used at corner locations.
3. Repetition of building elements including trellises, balconies, and arcades may be used to articulate building volumes.

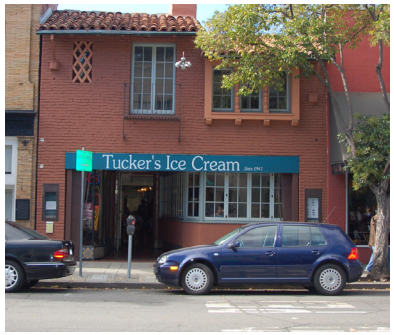
Multiplex building.

Single family detached house.

Commercial block building.

Courtyard housing.

Live-work building.



Commercial block building.

Building materials

Walls

1. Exterior walls should be composed of stucco. Hand trowelled patterns are recommended.
2. Brick cladding may be used on commercial block buildings.
3. Accent materials may include decorative ceramic tiles and cast stone, and may be used for entry door surrounds and as a base treatment.

Base

1. Spanish ceramic tiles may be used as a base treatment for commercial buildings.

Base treatment with decorative Spanish tile.

Roof treatment

1. Roofs may be composed of different volumes including gabled (side and cross gabled), hipped, shed, or flat, and should have low-pitched slopes not to exceed 4:12.
2. Any visible roof slopes should have clay terra cotta barrel tiles. Tiles at the roof edge should be doubled for a more substantial look.
3. Tile, stucco, or brick decorative vents may be used at gable ends.
4. Flat roofs should include a parapet.
5. Roof tiles should be terra-cotta Mission tiles, (shaped like half cylinders), or Spanish tiles (shaped as an “S” curve). Simulated concrete tiles should not be used.
6. Variegated terra-cotta roof tile colors are recommended.

Ornamented window surround and parapet.

Roof overhang with shaped rafter tails.

Roof eave treatment

1. Eave treatment may include exposed rafter tails with medium or large overhangs, plaster moulding, or tiles wrapping the roof edge. Exposed rafter tails should have a shaped end profile.
2. Soffits at eaves should be finished with painted tongue and groove planks.
3. Stucco mouldings should not be used.

Gutters and downspouts

1. For sloped roofs, ornamental copper gutters with decorative conductor heads are recommended.
2. For flat roofs, copper or ceramic scuppers are appropriate.

Windows and window articulation

1. Windows should be vertically proportioned with vertically proportioned, evenly divided lites.
2. Windows should be deeply recessed.
3. Window types may include single hung, double hung, and casement windows.
4. Primary wall materials may wrap the corners of recessed windows without trim.
5. Window lintels including stone, timber or faux timber may be used.
6. Recommended materials include painted wood or steel sash, or fiberglass that visually matches wood or steel sash. Aluminum windows should not be used.
7. Window composition may be symmetrical or asymmetrical along the building façade.
8. Focal windows along the front facade may be triple arched or parabolic, or may include a grouping of 3 or more windows
9. Stained glass may be incorporated into focal windows.
10. Small accent windows may include decorative wrought iron grilles.

Roof treatment with moulding detail.

Half round copper gutter and decorative conductor head.

Vertically proportioned windows with divided lites.

Building elements

Porches

1. One and two story porches may be used on front facades. Covered entry porches may have a different roof form than the main volume.
2. Porches may be recessed into the building mass to form a loggia.
3. Raised entry porches should be used for single-family homes.
4. Porch columns may be comprised of large dimension timber with brackets, or of a simple classical order such as Tuscan or Doric.
5. Porch steps should be painted concrete and may include Spanish tiles inlaid into risers.

Balconies

1. Balconies and railings should be made of wrought iron or wood.

Chimneys

1. Chimney tops may be shaped or include a small tiled roof.

Bay windows

1. Bay windows with a flat roof and a parapet or tiled roof are appropriate. Windows should be placed on all sides of bay.

Raised entry porch with tapered walls.

Decorative wrought iron balcony.

Decorative ceramic tiles used for ornamentation at entry.

Ornamentation

1. On residential buildings, ornamentation should be used sparingly and applied to key locations such as entries and window surrounds.
2. On commercial block buildings, ornamentation may include traditional mouldings and castings made of stone, terra-cotta or cast concrete. Floral inspired cast reliefs are appropriate for embellishing volumes.

Entries

1. Entry doors may be paneled wood or vertical wood planks with iron details.
2. Secondary entrances may be glazed with vertical rectangular glass panes.

Storefront treatment

1. Storefront display windows should be wood or thin strip metal and may include divided lites.
2. Bulkhead base treatment may include Spanish ceramic tiles. Tiles should either be flush with the wall surface or use rounded edges.
3. Storefront entries should be recessed from the storefront.
4. Decorative ceiling or wall-mounted wrought iron sconces are recommended.

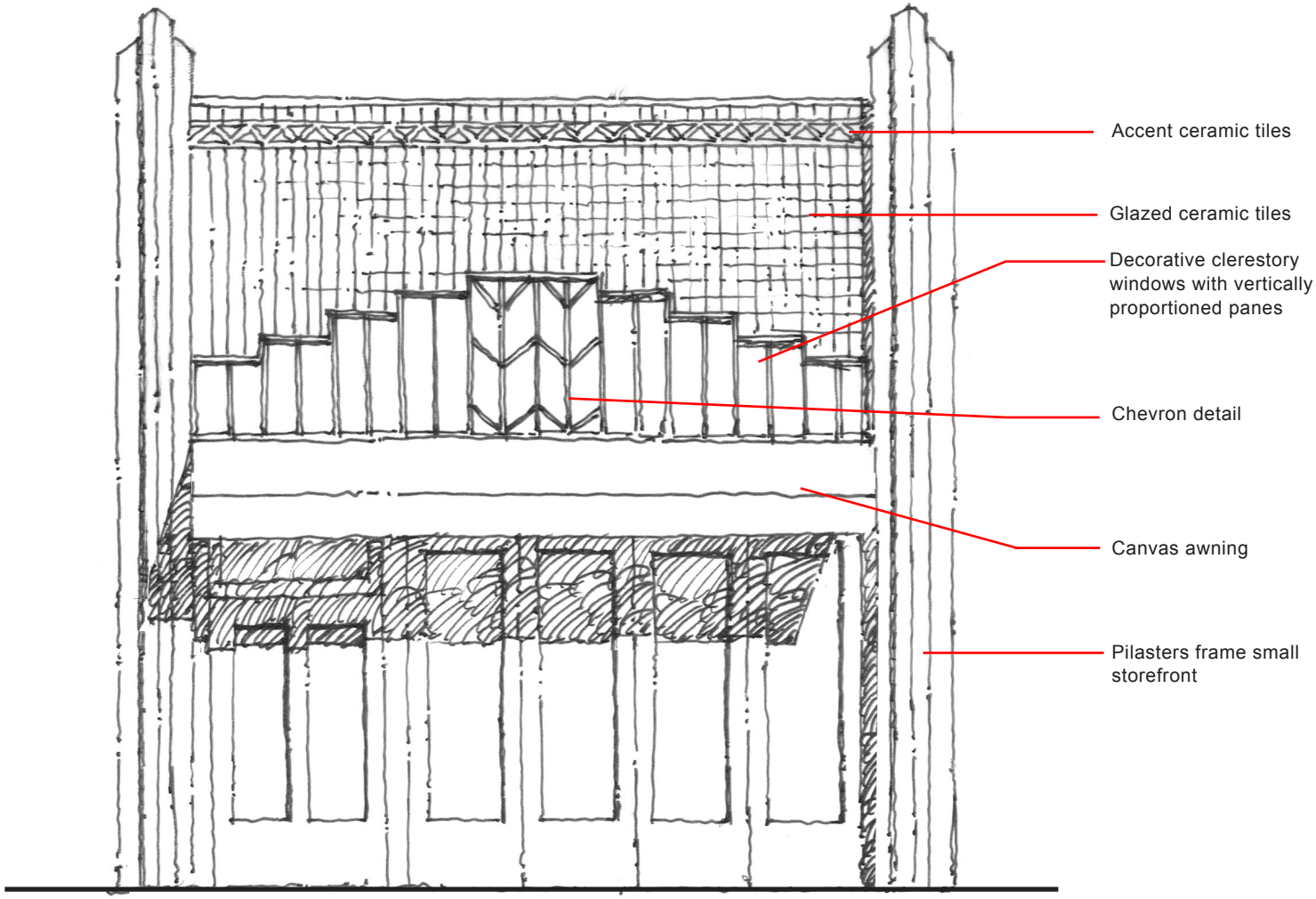
Colors

1. White, off white, and earth tones such as ochre or other terra-cotta tones are appropriate.
2. Complementary colors should be used for windows, doors, railings, and columns.

Storefront windows with true divided lites and integrated signage.

Decorative wrought iron light fixture.

3.5.G Art Deco


Accent ceramic tiles
Glazed ceramic tiles
Decorative clerestory windows with vertically proportioned panes
Chevron detail
Canvas awning
Pilasters frame small storefront

Introduction

Art Deco derives its name from the Exposition Internationale des Arts Decoratifs and Industriels Modernes held in Paris in 1925. The style presented an artistic expression through the use of elaborate, stylized reliefs and bronze metalwork inspired by classical and naturalistic forms. While Art Deco presented a distinct new architectural expression, it shares many compositional elements of the Neoclassical style that it succeeded including pilasters, vertical expression, and symmetrical facade composition.

Alameda has several Art Deco buildings along Park Street with varying levels of detail and a broad palette of building materials. The Timothy Pfleuger-designed Alameda Theater is Alameda's most prominent and expressive example, depicting unique cast concrete reliefs and a soaring marquee.

Recommended building types

- Commercial block
- Workplace commercial
- Live-work
- Stacked flats
- Multiplex
- Rowhouses
- Courtyard housing
- Single-family detached
- Parking structure

Massing and articulation

1. Volumes should be articulated with pronounced vertical elements and stepped roof lines without overhangs.
2. Towers and other vertical projections should be used to emphasize vertical proportions.
3. Tower volumes may be used at corners or in the center of the building when mid block.
4. Pilasters may be used for building articulation and to divide the facade into modular bays.

Workplace commercial building.

Workplace commercial building.

Theater building contains ground floor retail.

Cultural building.

Single-family detached house.

Workplace commercial building.

Building materials

Walls

1. Wall surfaces should be smooth stucco, smooth faced stone, or concrete with terra-cotta accents.

Base

1. Buildings may incorporate a base treatment or continue the primary wall surface to the ground.
2. Base treatment may include a change of plane and material.
3. Appropriate base materials include glazed ceramic tile, glazed terra-cotta tile, cast concrete, or stone.

Roof treatment

1. Roofs should be flat and may be single or multi level.
2. Flat roofs should include a parapet.
3. Parapets should be stepped consistently with building volumes.
4. Parapet walls may be decorated with ornamental reliefs.

Gutters and downspouts

1. Downspouts should be concealed within walls or placed at the rear of building where possible.
2. Decorative scuppers may be used.

Windows

3. Windows should be vertically proportioned.
4. Windows with divided lites may include vertical and/or horizontal window panes.
5. Steel sash windows are recommended.
6. Grouping of windows is recommended.

Stucco wall surface with ceramic glazed tile base treatment.

Smooth stucco wall surface with decorative pilaster.

Decorative relief at parapet.

7. Single and double hung or casement windows should be used.

Building elements

Pilasters

1. Pilasters should be used for façade articulation.
2. Pilasters should be continuous from the base of the building and extend to upper floors.

Railings

1. Railings may incorporate decorative abstract / geometric or stylized natural motifs.
2. Exterior railings should be painted metal or unpainted stainless steel.

Columns

1. Columns may be free standing or engaged.
2. Stylized classical volutes are appropriate at column capitals.

Steel sash window detail.

Art deco inspired railing.

Ornamental castings with floral motif.

Ornamentation

1. Art deco commercial buildings should use abstract, naturalistic, and geometric ornamentation in low relief on building facades.
2. Patterned or geometric motifs may include parallel straight lines, zigzags, triangles, chevrons, segmented circles, spirals, stylized floral motifs, birds, and similar motifs.
3. Ornament may include cast concrete reliefs such as medallions or friezes.
4. Ornament may be executed in a variety of materials including marble, tile, terra-cotta, plaster, and metal.

Entries

1. Doorways may be decorated, or articulated as part of the facade treatment. Door openings may have a surround, a frieze, and/or hard edge relief ornaments.
2. Entry floor treatment may include terrazzo with geometric patterns.
3. Entries should be recessed.

Storefront treatment

1. Storefront display windows should be framed in natural or anodized aluminum or stainless steel with an integrated window sill.
2. Transom or clerestory windows should include vertically proportioned divided lites.
3. Bulkhead materials may include glazed ceramic or terra-cotta tiles.

Primary entrance treatment with double doors and transom window.

Ornamented pilasters extend beyond the roof line.

Corner entry with neon signage and clerestory windows.

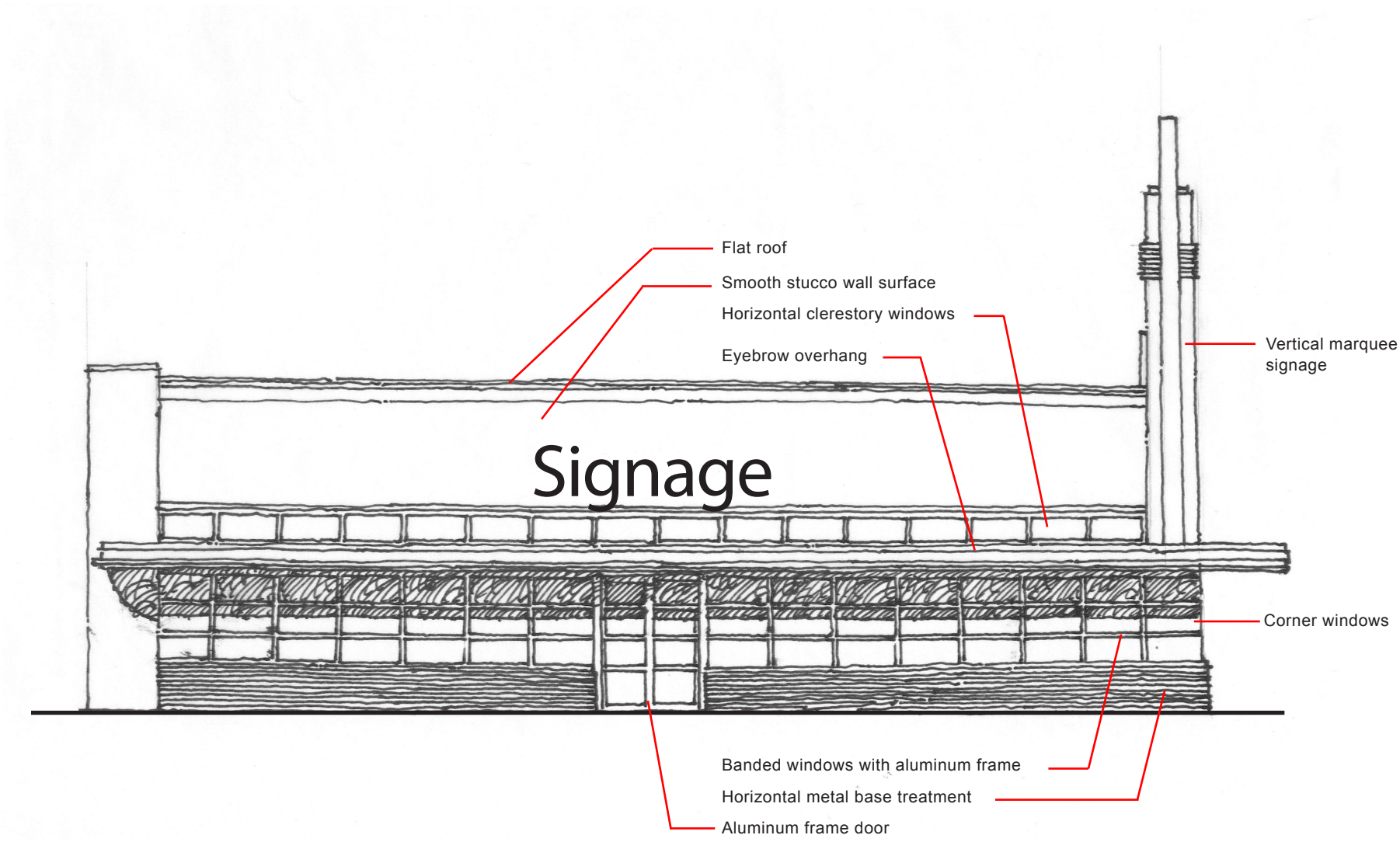
Signage and lighting

1. Signage should be designed as a prominent building element with large letters and bold graphics integrated with the façade design. San serif fonts are recommended.
2. For commercial block buildings, marquee signs may be used.
3. Metallic finish lighting fixtures may be used.
4. A pair of wall-mounted lighting fixtures should be used to accentuate entries.

Colors

1. Pastel colors and off white tones are appropriate. Deep saturated colors of green, blue, and blacks may be used.

3.5.H Streamlined Moderne



Introduction

The Streamlined Moderne style succeeded Art Deco, and is part of the larger Moderne movement spanning from the 1920's to the 1940's. Corresponding with the predominance of the 'automobile era', Streamlined Moderne buildings were designed to evoke a sense of movement. Massing and articulation emphasized horizontal lines, and the austere aesthetic included forms drawn from locomotives and ships, replacing the decorative ornamentation and vertical articulation of Art Deco. Nautical elements such as porthole windows and roof railings continue to be used today in contemporary architecture.

Alameda's Streamlined Moderne buildings play a prominent role in the character of the Park Street Districts. The former Lucky store and the Commercial National Bank building, both on Central Avenue represent two of the City's most exemplary historic Streamlined Moderne buildings.

Recommended building types

- Commercial block
- Workplace commercial
- Live-work
- Parking structure

Massing and articulation

1. Buildings may be asymmetrical with simple geometric massing.
2. Volumes have horizontal emphasis, and are generally simple and unadorned.
3. Horizontal articulation treatment may be achieved by the grouping of banded windows, bands, and eyebrows.
4. A single vertical volume or marquee sign projecting from the dominant horizontal volume is appropriate.
5. Volumes may incorporate rounded corners.

Commercial block building.

Commercial block building.

Workplace commercial building.

Workplace commercial building.

Workplace commercial building.

Workplace commercial building.

Building materials

Walls

1. Exterior wall surfaces should be smooth stucco, terra-cotta tiles, or ceramic tiles.
2. Accent materials may include terra-cotta tiles, glass block, glazed ceramic tile, and metal.
3. Horizontal lines or grooves are appropriate in stucco. Lines may include metal detailing or may be highlighted with metallic paint.

Base

1. Primary wall surface material should extend to the building base.

Roof treatment

1. Roofs should be flat with a parapet, and have a simple cap treatment.
2. Parapets may be stepped consistently with building volumes.
3. Flat roofs may have a small ledge or metal coping.
4. To minimize visibility, roof flashing should be painted consistent with the facade color scheme, or to match the color of the adjacent wall surface.

Gutters and downspouts

1. Roof drainage should not be visible from the primary street façade.
2. Decorative scuppers may be used.
3. Where visible, gutters and downspout should be aluminum or stainless steel.

Vertical marquee signage at building corner.

Stucco wall with horizontal lines.

Stucco extends to building base.

Windows

4. Window openings should be horizontally proportioned and use horizontal lites.
5. Window types may include single hung, awning and casement.
6. Steel sash windows are highly recommended.
7. Windows at corners should have minimal framing to create the illusion of wrapping the corner.
8. Window recesses may be rounded.
9. Glass block may be used as an accent and frequently wraps the corner.
10. Windows may be located beneath individual shading devices such as eyebrow overhangs, or may be located beneath a single overhang that extends the length of the facade.

Building elements

Pilasters

1. Simple pilasters may be used for façade articulation at the ground floor only.

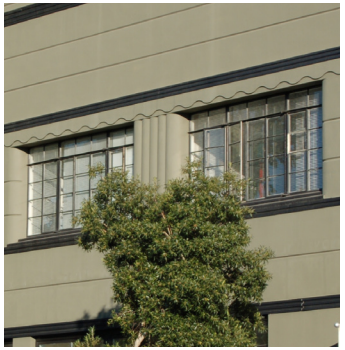
Railings

1. Simple metal railings may be used at the base of windows, or as French balconies on upper floors.
2. Simple horizontal railings that recall ship railings may be used along the roof.
3. Materials may include painted or unpainted aluminum or steel.

Columns

1. Columns should be simple round pylons with detailing such as ribbing.
2. Columns may be free-standing or engaged.

Round metal downspout.



Horizontally proportioned steel sash windows with rounded window recesses.

Pilasters frame building entries.

Ornamentation

1. Decorative detail should be minimized. Horizontal elements such as railings, or recessed horizontal grooves may be used to create the perception of motion.
2. Simple, geometric patterns such as scallops and waves are appropriate.

Entries

1. Entries should be recessed.
2. Primary doors should have large panes of glass and a transom window.
3. Terrazo or tile flooring may be used in entry alcoves.

Storefront treatment

1. Storefront display windows should be framed in aluminum or stainless steel.
2. Storefront display windows may be curved or asymmetrical.
3. Clerestory or transom storefront windows should use horizontal window panes.
4. Bulkhead materials may include steel panels or metal cladding with a simple horizontal profile or pattern. Glazed tiles may be used as accents.

Primary corner entrance with rounded walls.

Recessed entry with aluminum doors.

Signage and lighting

1. Signage should be metal and illuminated by neon or LED's.
2. Signage should be designed with large letters and bold graphics and read as a major architectural element.
3. Moderne or Deco san serif fonts should be used for lettering.
4. Recessed cove lighting should be used at storefront entries.

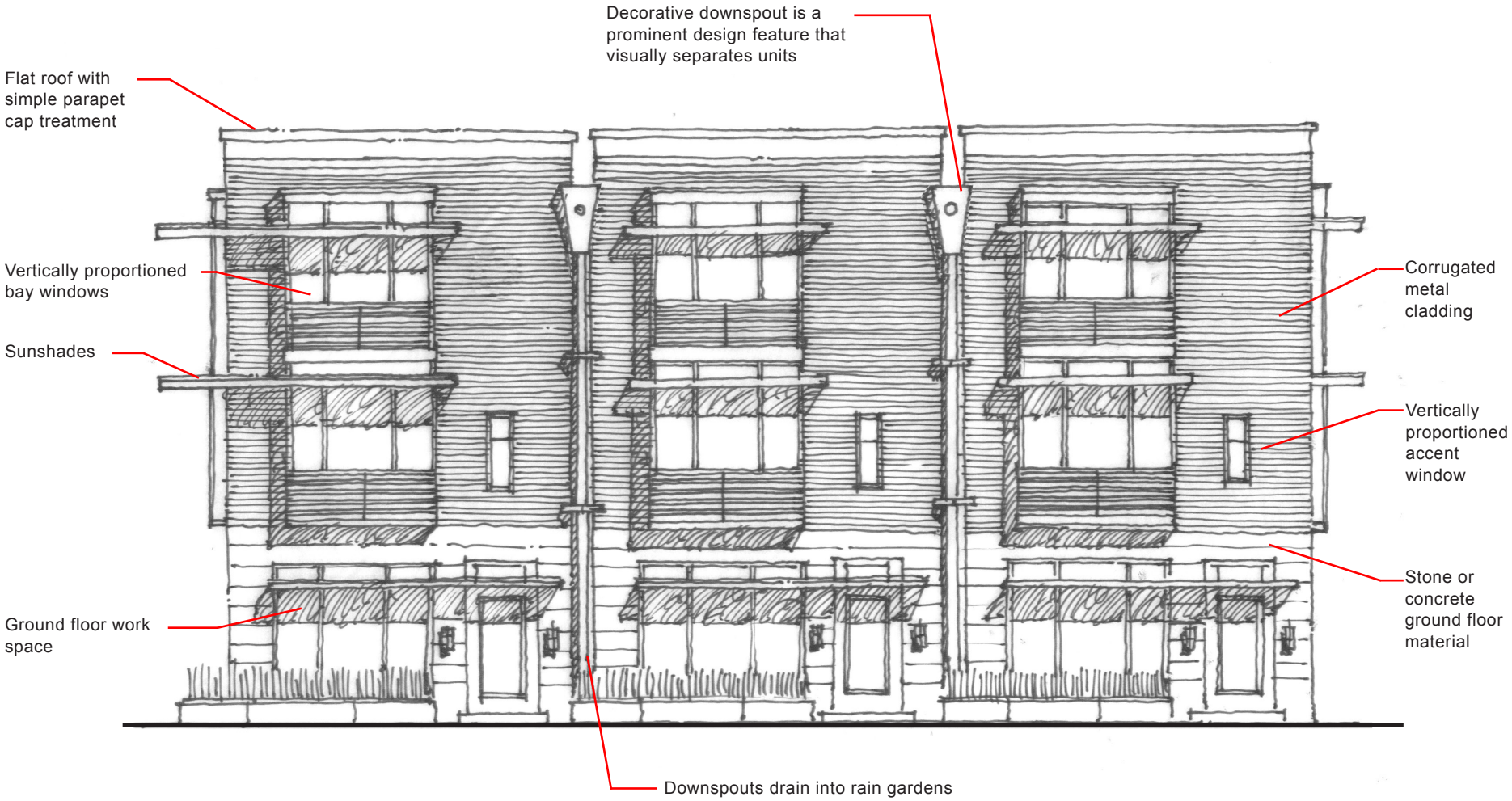
Colors

1. Pastel colors and off white tones are recommended.

Aluminum storefront display windows.

San serif font sign over glass block clerestory window.

3.5.I Modern


Decorative downspout is a prominent design feature that visually separates units
Flat roof with simple parapet cap treatment
Vertically proportioned bay windows
Sunshades
Ground floor work space
Corrugated metal cladding
Vertically proportioned accent window
Stone or concrete ground floor material
Downspouts drain into rain gardens

Introduction

Modern architecture comprises styles that became predominant following World War II. Contrasting with period revival architecture, the Modern movement introduced a distinct expression that utilized modern materials and construction methods. In California, the mild climate inspired forms that draw upon Mediterranean approaches of integrating interior and exterior spaces by utilizing elements such as long overhangs, sunshades, large windows, balconies, and porches.

Alameda does not currently have many examples of Modern buildings, however applicants may consider Modern architecture as an appropriate style for infill opportunities throughout the Waterfront and Workplace Commercial Districts The Waterfront District in particular, which currently has an existing stock of industrial buildings, provides an appropriate setting for modern design. In this setting, as in other coastal communities, modern design may draw inspiration from nautical themes. While individual expression is encouraged, fundamental design principles of rhythm and facade articulation, and a delineation of entries and ground floor treatment should be emphasized.

Recommended building types

- Commercial block
- Workplace commercial
- Stacked flats
- Multiplex
- Rowhouse
- Live-work
- Courtyard housing
- Parking structure

Workplace commercial building.

Live-work building.

Workplace commercial building.

Live-work building.

Workplace commercial building.

Commercial block building.

Massing and articulation

1. Buildings may be symmetrical or asymmetrically organized. Volumes may be simple and unadorned and may vary in height.
2. Horizontal articulation should be achieved by using repetitive volumes alternating with voids or recesses.
3. Facade articulation elements may include large overhangs, awnings, sunshades, trellises, and balconies.

Building materials

Walls

1. Exterior wall materials may include metal siding, fiber cement siding, wood, stone, concrete, and stucco. Natural materials are recommended.
2. A variety of material types and textures should be used to achieve visual interest.
3. Materials should be used to accentuate natural colors and textures. Wood and metal surfaces may be weather treated and left unpainted.

Base

1. Wall surface material may extend to the building base.
2. If the ground floor is treated as the building base, it should be differentiated from upper stories using a change of materials and/or colors.
3. Base materials may include cast concrete, metal siding, ceramic tile, terra-cotta tile or stone.

Multi level windows with sunshades provide building articulation.

Concrete block, smooth stucco and metal siding.

Concrete planters are used as base treatment.

Roof treatment

1. Roofs may be flat and may be single or multi level.
2. For multi level flat roofs, roof line should be stepped in accordance with building volumes and/or building articulation.
3. Other roof types may include barrel shaped, single slope, and butterfly roofs.
4. Sloped roofs may be standing seam metal or asphalt shingle.
5. Sloped roofs may have small or large overhangs.
6. Flat roofs should have a small ledge, metal coping, or may include large cantilevered overhangs.
7. Roof flashing should be painted in accordance with the facade color scheme, or to match the color of adjacent wall surfaces.

Gutters and downspouts

1. Half round gutters and round downspouts are appropriate.
2. Geometric shaped scuppers, conductor heads, and square downspouts may be used.
3. Downspouts may be used on the primary elevation to add detail and rhythm.
4. Gutters, decorative scuppers and downspouts may be of painted or unpainted metal. Metal finishes or colors are recommended.
5. Internal roof drains may be used for flat roofs.
6. Cut outs in the parapet for scuppers is an appropriate way to add visual interest to the parapet.

Parapet roof with geometric shaped conductor head.

Squared metal gutter and downspout.

Grouped windows with horizontal divided lites at entrance.

Windows

1. Windows may be horizontally or vertically proportioned.
2. Window types should be single hung, awning, casement or slider.
3. Metal framed, fiberglass, or wood windows should be used.
4. Window articulation may be achieved by using a combination of individual and grouped windows having vertical proportions.
5. Windows may be grouped to create vertically proportioned multi-story openings.
6. Multi-story windows should include divided lites. A combination of horizontally and vertically proportioned panes may be used.
7. Windows at corners may have minimal framing to create the illusion of wrapping the corners.
8. Square windows may be used for accent, in groupings for wrap around windows, or to create a horizontal band.
9. Canopies may be used as shading devices above windows. Canopies may be metal, glass, or wood.

Building elements

Balconies

1. Balconies may be used for façade articulation.
2. Balcony designs should be simple and emphasize the expression of the structure.
3. Recommended materials include natural weather-resistant wood or metal.

Railings

1. Simple metal or wood railings that accentuate horizontal lines should be used.
2. Appropriate materials include aluminum, stainless steel, and natural weather resistant wood.

Metal frame corner window.

Second floor terrace with horizontal wood railings.

Industrial inspired metal railing.

3. Wood railings may be closely spaced horizontal wood planks.
4. Glass panels may be incorporated into railings

Columns

1. Columns may be square, round, or tapered.
2. Columns should have simple unadorned forms.

Ornamentation

1. Ornamentation should be minimal. Building details should be unadorned and simple.

Entries

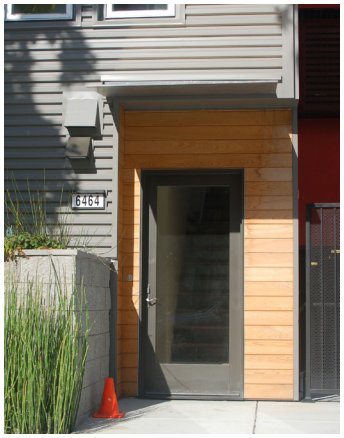
1. Recessed entries are recommended.
2. Transom or double height windows may be used at entries to create a hierarchy of spaces.
3. Painted or unpainted concrete and stone flooring may be used in entry alcoves.

Storefront treatment

1. Storefront display windows should be framed in wood, aluminum, or stainless steel. Aluminum storefronts should be factory painted or anodized.
2. Storefront display windows may be of vertical or horizontal proportions.
3. Bulkhead materials include glazed ceramic tiles, glass tiles, or metal cladding with simple horizontal profiles or patterns.

Colors

1. Saturated colors are recommended for stucco wall surfaces.
2. Contrasting colors may be used to accentuate volume articulation.



Combination of metal and wood cladding.

Wood storefront windows.

3.6 GUIDELINES FOR REHABILITATION AND RESTORATION

Purpose and Intent

This section provides guidance towards the rehabilitation, enhancement and maintenance of historic building facades and storefronts. The guidelines are provided to ensure that distinctive historic qualities are preserved during the rehabilitation and restoration process.

Introduction

Throughout the City's corridors and neighborhoods, Alameda's large number of well preserved historic buildings reflects the City's rich history and shapes the built environment. Restoring and rehabilitating historic buildings will preserve Alameda's heritage.

Guidelines for Rehabilitation and Restoration should be used for historic buildings in combination with the Architectural Design Standards and Guidelines, and Architectural Style Guidelines. All rehabilitation and restoration projects should refer to the Secretary of the Interior's Standards for Rehabilitation, which can be found on the National Park Service, U.S. Department of the Interior website: www.nps.gov

Objectives

Historic character of a building is expressed through its form, materials, and craftsmanship as well as character-defining features and historic details.

1. The main objective of rehabilitation and restoration projects is to preserve the historic character of a building, while accommodating necessary modifications for its continued use.

2. For buildings that have not been substantially altered, a visual survey should be conducted to identify and evaluate the physical conditions of historic features.

3. For previously altered buildings, where architectural elements have been modified or removed, the restoration of the building to its original design is encouraged where feasible. Restoration should include an analysis of available historic architectural documentation including photographs, renderings, pictorial and physical documentation and architectural drawings. Whenever possible, historic features hidden behind alterations should be identified and repaired. If full restoration of a previously altered building is not proposed, original character-defining elements should be preserved. Where altered buildings have resulted in an architecturally significant structure, future alterations should be consistent with the predominant design where appropriate.

4. All treatments that will physically alter a building's historic character and appearance should be carefully evaluated. A qualified historic preservation professional shall be consulted on all rehabilitation and restoration projects for designated historic buildings.

Delanoy Building. Delanoy and Randlett, builder.

Lucky Store. George W. Cotterill, engineer-designer.

Commercial National Bank Building. William E. Schirmer, architect.

3.6.1 Design Principles

The following design principles and recommendations for key building components are provided to ensure that exterior modifications to old and historic buildings support the preservation of historic architectural character.

Design

1. Restoration work should not compromise the historic qualities of the building and should be performed with a high degree of craftsmanship. The overall visual appearance of the original building façade should be maintained.
2. Changes to architectural elements that do not define the historic character of the building should utilize materials of an equal or higher quality than the element being replaced.
3. Where a building facade has been altered, is void of design merit, and little or no iriginal materials are extant, including surface materials under later modifications, a full remodel may be undertaken in accordance with the Plan's Architectural Design Standards and Guidelines, and Architectural Style Guidelines.

Materials

1. Historic materials should be preserved or replaced in kind where possible.
2. If historic materials are not available, replacement materials should visually match the texture, patterns, colors and finishes of the original.
3. Paint or other coatings should not be used on historically unpainted surfaces. Repainting of historically painted surfaces should utilize colors appropriate to the building's historic style. See Architectural Style Guidelines for recommended colors.

Roofs

1. Historic roof slopes, materials, colors and drainage systems should be preserved.
2. New roof features including dormers, and skylights should not be added to original roof forms.
3. Materials used for repair or replacement should be similar to original materials.

Windows

1. All original windows should be preserved. In some cases partial replacement and reuse of the window elements may be possible.
2. Historic windows should be repaired rather than replaced. Recaulking, reglazing or weather-stripping is recommended.
3. When a historic window is beyond repair, the replacement window should match the materials, window design details, operating type and pane configuration of the original window.

Storefronts

1. Storefront design features and details should be repaired rather than replaced whenever possible.
2. If replacement of a portion of a historic storefront is necessary, design, details, materials, and color, should emulate the original storefront. Substitute materials should match the appearance and finishes of the original materials.
3. Total storefront replacement should be considered only if a substantial portion of the storefront is missing or deteriorated. New storefront designs should be in accordance with the scale, design, material and architectural style of the building.
4. Historic transom or clerestory windows should be preserved and should not be covered or painted.
5. Transom, clerestory and display windows that have been covered, altered or painted should be restored.
6. Historic bulkheads and recessed entries should be preserved.
7. Canopies, awnings and signs should not cover historic details of the storefront façade. Canopies or awnings should be located between pilasters or columns, and should not cover transom windows. Awnings should not span multiple windows.

Fossing Building. Charles H. Foster, designer and builder.

Franck's Music Store. Olin S. Grove, architect.

Bernardi Cleaners. Frank W. Dakin, architect.

Alameda Savings Bank Building. Meyers & Ward, architect.

Rowe Building. William Knowles, architect.

Konigshofer Building. Alexander A. Cantin, architect.

3.6.3 Commercial Facade Improvements

The Park Street Districts are home to many of the City's most enduring and valued commercial buildings. The continued maintenance and improvement of commercial buildings will ensure that the districts continue to embody Alameda's rich architectural heritage. While the overall quality of architecture is very high in the Plan Area, there are numerous opportunities for improvements to commercial facades that can enhance building quality and district character.

Numerous commercial buildings throughout the Park Street Districts have undergone significant modifications. In some cases, modifications have been carefully and effectively performed, with sensitivity to the building's original design. In other cases, modifications have not been in accordance with the building's historic character, and have removed, covered, or otherwise negatively impacted the building's historic design features.

The conceptual commercial facade improvements on the following pages illustrate two different approaches to renovating commercial buildings in the Plan Area. In the first example, minor modifications are introduced to reveal original building details. In the second example, the commercial building facade is re-imagined as a new style. Modifications are intended to enhance pedestrian activity, and to introduce attractive visual elements to the historic district.

Pauline's Antiques on Park Street (before)

Pauline's Antiques on Park Street (after)

Encinal Place (before)

Encinal Court (after)

Providence Veterinary Clinic on Wester Street (before)

Providence Veterinary Clinic on Wester Street (after)

3.6.3.A Commercial Facade Improvements - Limited Modifications

On the second floor the broad awnings are removed, revealing the full height of the windows

The continuous wood planter box is replaced with individual terra-cotta window boxes that are consistent with the Mediterranean style

The mansard roof is removed and replaced with new segmented canvas awnings

Clerestory windows are revealed, heightening perception of the ground floor and increasing natural light to the interior.

Signage is accommodated on the awning and on blade signs

Interpretation

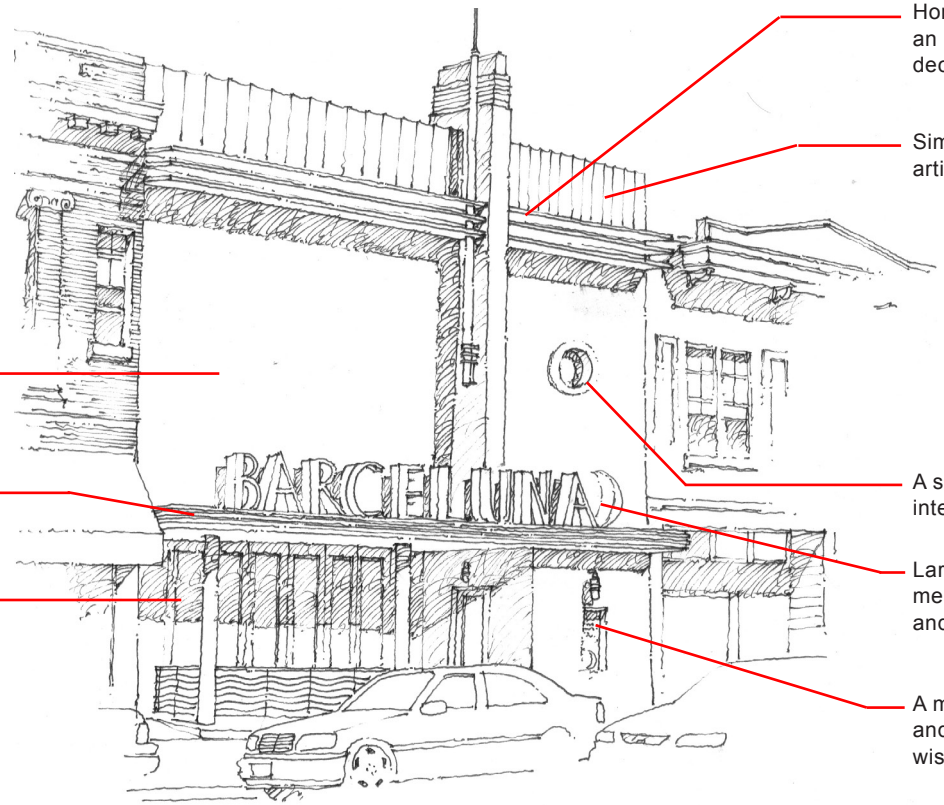
This modest Mediterranean Revival building has incurred modification to defining historic elements. The most notable alterations include the addition of the wood shingle mansard roof to the storefront, the removal of the original bulk-head, and the addition of second floor awnings. The style and material of the roof addition in particular are out of character with the building architecture, and compromise the presence and visibility of the retail establishments. By covering the original clerestory windows, the perception of the retail ground floor is reduced to the height of the store-front windows. The addition of awnings to the second floor, while not unattractive, emphasizes a horizontality that is at odds with the building style, and draws a disproportionate amount of attention to the second floor.

Existing building

Recommendations

Improvements are designed to reveal original details, and to emphasize pedestrian scale treatments that draw attention to the retail ground floor.

3.6.3.B Commercial Facade Improvements - Significant Modifications



Horizontal metal fins are interrupted by an asymmetrically placed marquee with decorative metal needle

Simple scalloped detailing at the roof line articulates the vertical wall surface

Wall color is lightened to visually complement adjacent building facades

Metal detailing is added to the existing overhang

Additional doors at the ground floor are essential for a restaurant at the street level

A single port hole window adds visual interest consistent with the style

Large neon signage provides an iconic element that draws customers to the building and adds visual appeal

A menu window is provided as a functional and attractive feature that occupies an otherwise blank wall

Interpretation

This restaurant building has been significantly modified and is void of original architectural detailing. It appears that it was originally part of the Neoclassical building to its left as indicated by the interrupted roof line and facade elements. Restoring this building to its original facade would be a significant and commendable undertaking, however the ability to match the original detailing and materials would likely present a significant and cost-prohibitive set of design and construction challenges.

Recommendations

The above recommendations illustrate alterations to the facade in accordance with a Streamlined Moderne style that builds on the facade's spare detailing and simple volumes. The Streamlined Moderne style provides rich contrast to adjacent buildings, while building on the District's heritage and complementing its overall character.

Existing building